2525 SE 50th Ter Ocala, FL 34480

(352) 694-8201 Fax: (352) 694-8202

hometeamocala@gmail.com

On 8/2018 HomeTeam Inspection Service made a visual inspection of the property referenced above. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Home Inspection Agreement. Although maintenance items may have been addressed verbally at the time of the inspection, they may not be included in the enclosed report.

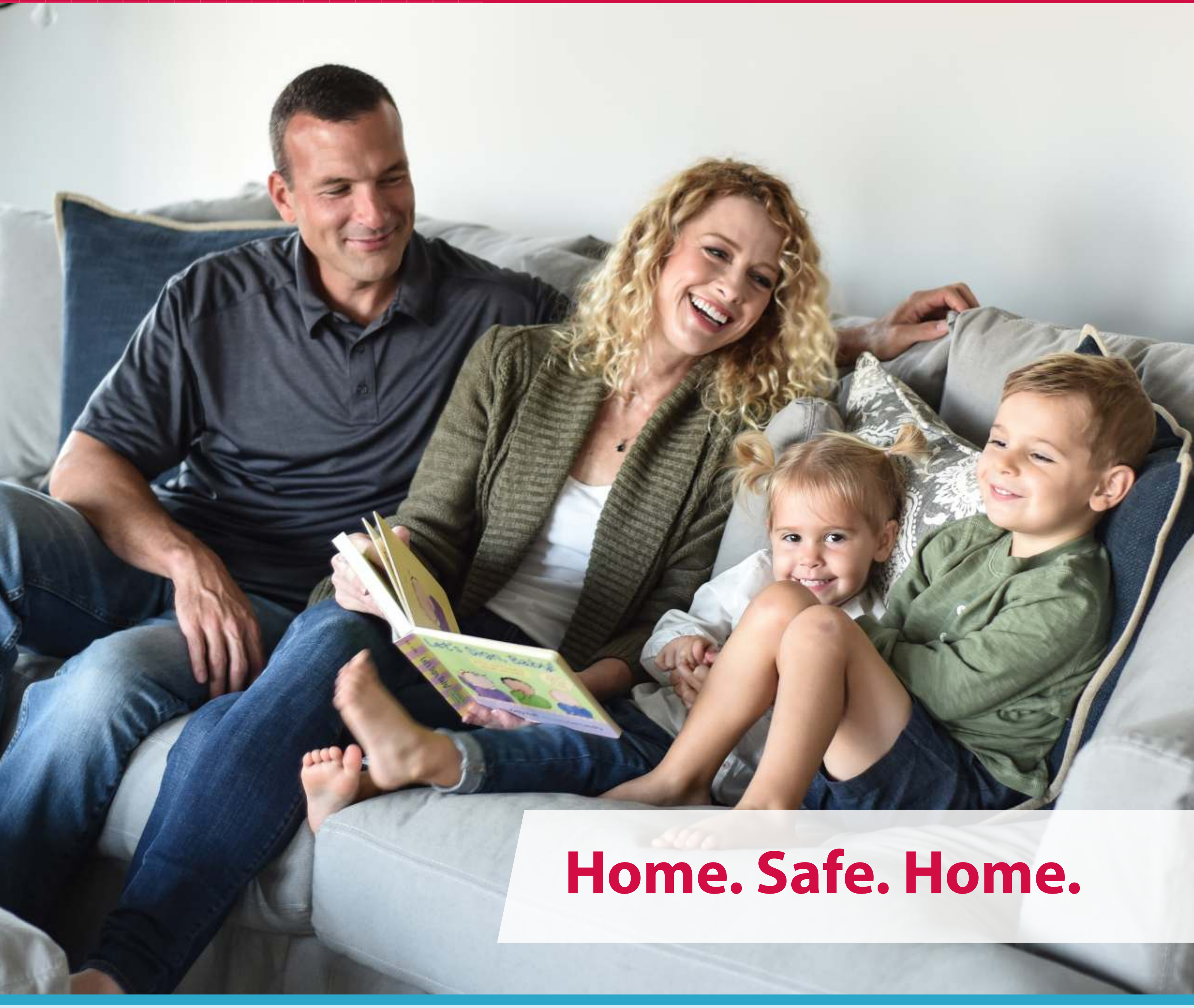
I trust the enclosed information is helpful and I hope you enjoy every aspect of your new home. If I can be of any assistance, please feel free to call me at the above telephone number.

*Sincerely,*

**Danny & Jane Blankenship**
**HomeTeam Inspection Service**
**Licensed Florida Home Inspector HI-105**

# HomeTeam® INSPECTION SERVICE

## HOME INSPECTION REPORT




HomeTeam® INSPECTION SERVICE

CONVENIENT BOOKINGS | EFFICIENT INSPECTIONS & FAST REPORTS

## WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

## WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

## OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

## WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

## WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

**Thank you for allowing us the opportunity to serve you.**

FAST

TRUSTED

ACCURATE

## PREFACE:

This report is intended for the sole, confidential, and exclusive use and benefit of the Client(s) under a written HomeTeam Inspection Agreement. This report is not intended for the benefit of, and may not be relied upon by, any other party. The disclosure or distribution of this report to the current owner(s) of the property inspected or to any real estate agent will not make those persons intended beneficiaries of this report. The HomeTeam Inspection Service has no liability to any party (other than the HomeTeam client named above, for whom this report was expressly prepared) for any loss, damage or expense (including, without limitation, attorney fees) arising from any claim relating to this report.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection. We will not render an opinion as to the condition of any systems or components of the structure that are concealed by walls, floors, drywall, paneling, suspended ceiling tiles, insulation, carpeting, furniture or any other items stored in or on the property at the time of the inspection.

The results of this home inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection. No warranty or guaranty is expressed or implied.

If the person conducting your home inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts, you may be advised to seek professional opinion as to any defects or concerns mentioned in the report. If the age, condition or operation of any system, structure or component of the property is of a concern to you, it is recommended that a specialist in the respective field be consulted for a more technically exhaustive evaluation.

This home inspection report is not to be construed as an appraisal and may not be used as such for any purpose.

This inspection report includes a description of any material / major defects (*) noted during the inspection, along with any recommendation that certain experts be retained to determine the extent of the defects and any corrective action that should be taken. Any material defect that poses an unreasonable risk to people on the property will be conspicuously defined as such. Any recommendations made to consult with other specialists for further evaluation as a result of our findings should be complete prior to the conclusion of the inspection contingency period.The Client warrants they willread the entire Inspection Report when received and shallpromptly contact HomeTeamregarding any questions or concerns the Client may have regarding the inspection or the Inspection Report.

* Material / Major Defect: A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to the people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

We will not determine the cause of any condition or deficiency, determine future conditions that may occur including the failure of systems and components or consequential damage or components or determine the operating costs of systems or components.

It is not uncommon to observe cracks or for cracks to occur in concrete slabs or exterior and interior walls. Cracks may be caused by curing of building materials, temperature variations and soil movement such as: settlement, uneven moisture content in the soil, shock waves, vibrations, etc. While cracks may not necessarily affect the structural integrity of a building, cracks should be monitored so that appropriate maintenance can be performed if movement continues at an abnormal rate. Proper foundation maintenance is key to the prevention of initial cracks or cracks enlarging. This includes, but not limited to proper watering, foundation drainage and removal of vegetation growth near the foundation.

## REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

**Intermittent or concealed problems:** Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

**No clues:** These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

**We always miss some minor things:** Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the $200 problems; it is to find the $1000 problems. These are the things that affect people's decisions to purchase.

**Contractor's advice:** A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

**"Last man in" theory:** While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

**Most recent advice is best:** There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

**Why didn't we see it?:** Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem." There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

**Not insurance:** In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

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**SUMMARY:**

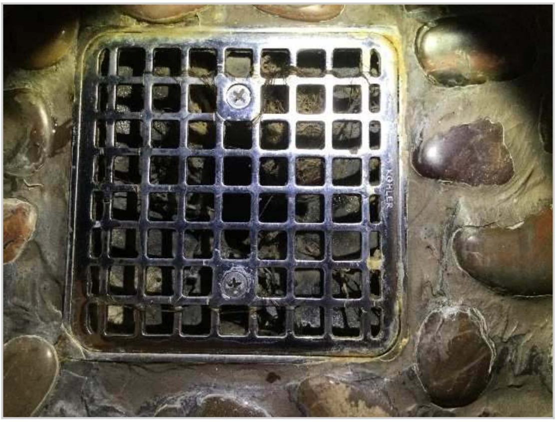
*This summary provides a simplified overview of the results. Be sure to read the full body of the inspection report; it contains much more detail about the property. Any additional evaluations we've recommended must be performed prior to the conclusion of the inspection contingency period.*

## General Observation

- **The age and physical condition of the shingles indicate they are nearing the end of their useful life. There were no active leaks observed in the attic space. A licensed roofing company should be called to evaluate the roof.**




- **The rock floor in the master shower was not professionally done and not properly pitched. Although the shower appears to drain properly, caution should be used when entering the area.**

The master shower drain should be cleaned

The master shower control plate should be sealed at the wall.

- **The pool was originally designed to be used as a salt system but chlorine was being used. The salt equipment was disconnected and it is not known if it is functional. The pool surfaces were worn and pitted, indicating the pool will need to be re-surfaced later. A licensed pool company should be called to further evaluate the equipment.**


### Maintenance Items

- **The nails securing the ridge vents were very rusted and a few have pulled through the metal. This issue should be corrected ASAP to prevent water intrusions from blowing rains. A licensed roofing company should be called to address this issue.**

- **The gutters in the rear of the home was damaged and should be repaired.**

- **There was a filter at the well that needs monthly maintenance. The power box at the well was very rusted and should be monitored for failure. The equipment at the well is older but functional at the time.**


- **There was a tree making contact with the home and/or roof. The tree should be removed before damage occurs to the home.**

- **One or more of the insulated window panes throughout the home had a defective thermal seal. A defective thermal seal can be identified when fogging is observed between the panes of glass. A defective thermal seal does not affect the performance of the window. Repair of the thermal seal can be accomplished by replacing the affected glass panel.**

### Equipment Testing

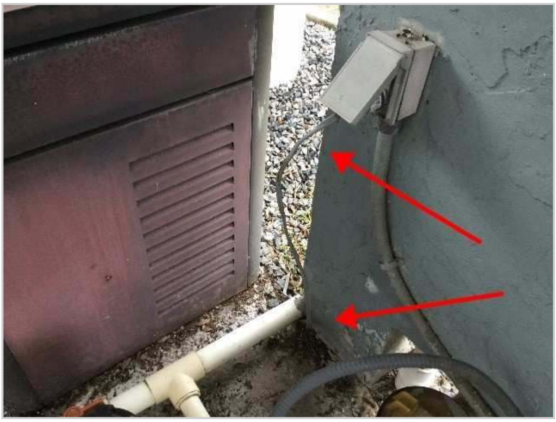
- **Due to the age and physical condition of the entire HVAC system, a complete evaluation and**

**cleaning (including the air handler platform, ductwork and outside line set) of the system is recommended. The HVAC system is functional at this time but is nearing the end of it's life expectancy.**





- **Evidence of amateur wiring was noted at the exterior of the home. Amateur wiring does not conform to standards methods and could be a safety concern. Consult with a qualified electrician for evaluation and repairs as required.**

## GENERAL DESCRIPTION

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street.

A system or component has a material defect if it is either unsafe or not functioning and cannot be replaced or rendered safe or functional for less than $1,000. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed.

Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute major, visually observable defects. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, rodent or pest intrusions, low voltage/stereo wiring and should not be relied upon for such items.

All conditions are reported as they existed at the time of the inspection.

**Pictures that may be included in this inspection report are complimentary and to are to be considered as examples of the visible deficiencies or other components that may be present. If any item has a picture, it is not to be construed as more or less significant than items with no picture included.**

**The home was recently painted on the inside and outside. If issues have occurred, or are present they were not visible at the time of the inspection.**

**There was a tree making contact with the home and/or roof. The tree should be removed before damage occurs to the home.**

**The living areas and garage were filled with many stored items and/or shelves at the time of inspection, therefore several areas were unable to be inspected.**






## CONDITIONS

The approximate temperature at the time of the inspection was 80 degrees Fahrenheit, and the weather was rainy. The home faces the south. The buyer and sellers were present at the time of the inspection. The utilities were on at the time of the inspection. The age of the home, as reported by the County web site was said to be 23 years old.

## BUILDING TYPE AND SIDING

The inspected property consisted of a one story masonry wall structure with stucco that was occupied and heavily furnished at the time of the inspection. **There were no material defects on the visual portions of the siding.**

## LOT AND GRADE

The home was situated on a level to sloped lot. The general grade around the home appeared to be adequate to direct rain water away from the foundation.

## WALKWAY AND PORCHES

There was a concrete walkway leading to the front entryway of the home. Surface defects in walkways develop and progress with age and are considered normal as long as they do not create a safety hazard. **There were no material defects observed in the walkway or the front entryway.**

## PATIO

There was a screen enclosed concrete patio with pool located in the back of the home. **There were no material defects observed to the patio.**

## ROOF

This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use.

The roof was a gable, hip and valley design covered with architectural/fiberglass shingles. Observation of the roof surfaces, flashing, skylights and penetrations through the roof was performed by walking on the roof.

The age of the roof covering as reported by the county web site was 13 years old. There was one layer of shingles on the roof at the time of the inspection. There was moderate curling and substantial surface wear observed on the roof shingles at the time of the inspection. These conditions indicate the roof shingles were in the late second half of their useful life.

The aluminum soffit and fascia was inspected and was in good condition. **There were material defects detected on the exterior of the roof.**

**The age and physical condition of the shingles indicate they are nearing the end of their useful life. There were no active leaks observed in the attic space. A licensed roofing company should be called to evaluate the roof.**




**The nails securing the ridge vents were very rusted and a few have pulled through the metal. This**

**issue should be corrected ASAP to prevent water intrusions from blowing rains. A licensed roofing company should be called to address this issue.**

## ATTIC STRUCTURE

As with all aspects of the home inspection, attic and roof inspections are limited in scope to the visible and readily accessible areas. Many areas of the roof are not visible from the attic especially near the base, where the largest volume of water drains. The presence of or active status of roof leaks cannot be determined unless the conditions which allow leaks to occur are present at the time of the inspection. Please be aware that rain alone is not always a condition that causes a leak to reveal itself. The conditions that cause leaks to occur can often involve wind direction, the length of time it rains, etc. The inspection does not offer or imply an opinion or warranty as to the past, present or future possibility of roof, skylight, flashing or vent leaks.

The attic was accessed through a scuttle in the garage.

The attic above the living space was insulated with batted insulation, approximately 10-12-inches in depth.

Ventilation throughout the attic was provided by soffit and ridge vents. The attic ventilation appeared to be adequate.

The roof structure consisted of two-inch by four-inch wood trusses spaced 24 inches on center and plywood sheathing.

The ceiling structure consisted of two-inch by four-inch rafters spaced 24-inches on center.

There were signs of previous moisture visible in the attic space.

**There were no material defects observed in the attic or roof structure.**

## GUTTER TYPES

The roof drainage system in the rear consisted of aluminum gutters and downspouts which appeared to be functional but in need of repair at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure. **There were material defects observed on the visible portions of the gutters or downspouts.**

**The gutters in the rear of the home was damaged and should be repaired.**

## DRIVEWAY

There was a concrete driveway in the front of the home which led to the garage. There were many cracks noted on the driveway. Surface defects in driveways develop and progress with age and are considered normal as long as they do not create a safety hazard. **There were no material defects observed in the driveway.**

## GARAGE

The attached garage was designed for two cars with access provided by one overhead-style door. Safety cables were installed inside the door springs. The concrete garage floor was in good condition. **There were no material defects observed in the garage.**

## GARAGE DOOR OPENER

The Genie brand electric garage door opener was tested and found to be functional. The automatic safety reverse on the garage door was tested and found to be functional. The functionality of remote transmitters, keyless entry or other opening devices is not tested during the home inspection.

## FOUNDATION

The foundation was constructed of poured concrete and block. A single inspection cannot determine whether movement of a foundation has ceased. Any cracks should be monitored regularly. **There were no material defects observed on the visible portions of the foundation.**

## SLAB ON GRADE

The full slab was not visible at the time of the inspection because of carpet or other floor coverings. There were no indications of moisture present. **There were no material defects observed on the visible portions of the slab.**

Please note that the condition of any utilities within or under a slab-on-grade, such as plumbing or ductwork, are not within the scope of the inspection.

## TYPES OF CRACKS

There were several repaired and painted cracks observed on the walls. The cracks were 1/16-inch or less. These cracks are common and usually insignificant. All buildings experience some settlement. Settlement cracks most often occur within the first few years after construction as the soil under the structure accommodates itself to the load of the structure. However, the significance of cracks cannot always be judged by a single inspection. All cracks should be monitored for significant changes in characteristics. Consult with a company specializing in foundation repair if there is a marked change in the size or dimension of a crack.

## PLUMBING

The visible water supply lines throughout the home were copper pipe. The water was supplied by a well and pump. Water valves are not tested as part of the inspection. Water valves that have not been operated for an extended period of time often leak after being operated. We would not be able to repair a leaking valve during the inspection.

The visible waste lines consisted of PVC pipe. The functional drainage of the drain waste lines appeared to be adequate at the time of the inspection. The home was connected to a septic tank system. The under-floor drain lines are considered underground utilities and are specifically excluded from the inspection. The lines are not visible or accessible and their condition cannot be verified during a visible inspection. Simply running water into floor drains will not verify the condition of the waste line infrastructure under the home. Consult with a qualified plumber for a camera inspection of the sewer laterals if there is any concern as to the condition of the waste lines under the home.

All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. Water pressure was tested at an outdoor sillcock and found to be 30 to 40 pounds per square inch. This report is not intended to be an exhaustive list of minor plumbing issues. Concealed, latent or intermittent plumbing issues may not be apparent during the testing period. **There were no material defects observed in the visible portions of the plumbing system.**

## WELL

The well was located in the right rear of the home. The shut-off was located at the well. **Defects were observed at the well at the time of the inspection.**

**There was a filter at the well that needs monthly maintenance. The power box at the well was very rusted and should be monitored for failure. The equipment at the well is older but functional at the time.**


## SEPTIC TANK

The home was connected to a septic tank system. The tank was located on the left side. The system appeared to be in good working order.

## WATER HEATER

There was a 80 gallon capacity, electric and solar water heater located in the garage. The water heater was manufactured by American, model number SE62-80H-045S and serial number 0942T417552. Information on the water heater indicated that it was manufactured 9 years ago.

A temperature and pressure relief valve (T & P) was present. Because of the lime build-up typical of T & P valves, we do not test them. An overflow leg was present. It did terminate close to the floor. Your safety depends on the presence of a T & P valve and an overflow leg terminating close to the floor. **The water heater was functional.**

### SOLAR WATER HEATER

Solar panels were installed on the roof. Solar water heating collectors capture and retain heat from the sun and transfer this heat to a liquid. Solar thermal heat is trapped using the greenhouse effect in this case is the ability of a reflective surface to transmit short wave radiation and reflect long wave radiation. Heat and infrared radiation (IR) are produced when short wave radiation light hits a collectorâ€™s absorber, which is then trapped inside the collector. Fluid, usually water, in contact with the absorber collects the trapped heat to transfer it to storage. The water was held in the 80-gallon water heater in the garage. The website below will explain more information concerning the water heating system.

http://www.homepower.com/articles/solar-water-heating/basics/what-solar-water-heating

One of the screws securing the water heater panels to the roof.

## ELECTRIC SERVICE

The underground electric service wire entered the home on the right side wall. The electric meter was located on the right exterior wall. The service entrance cable consisted of stranded aluminum rated for 200 amps. There was a 200 amp, Siemens panel with the main disconnect located on the right side of the home and was in good condition.



## MAIN PANEL

The service wire entered a Square D service panel, located on the garage wall with a 200 amp and 120/240 volt rated capacity. The main service disconnect switch was located on the exterior wall. The branch circuits within the panel were copper. These branch circuits and the circuit breaker to which they were attached appeared to be appropriately matched. The internal components of the service panel, i.e. main lugs, bus bars, etc were in good condition. No defects were observed inside the service panel.

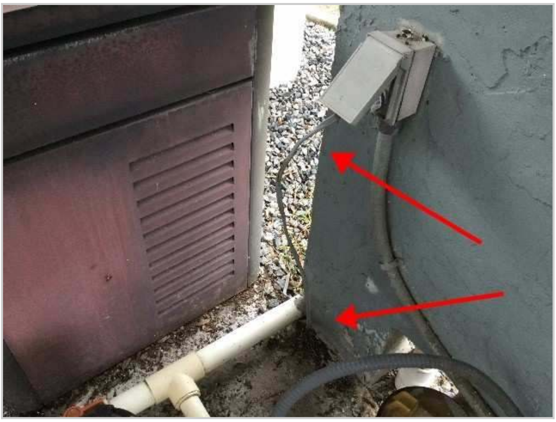
## SUB PANEL

An electric service sub-panel was located in the garage, and was manufactured by Square D. The service disconnect switch for this panel was located in the main panel, and was rated at 200 amps. The branch circuits within the panel were copper. These branch circuits and the circuit breaker to which they were attached appeared to be appropriately matched. The visible wiring consisted primarily of the Romex type and appeared to be in good condition.

## WIRING

The visible wiring consisted primarily of the Romex type and appeared to be in good condition. An electric service grounding system was installed. Service grounding requirements have changed many times over the years. The grounding system for a 30-year-old electric service is different from that of a 10-year-old service. The inspection does not attempt to verify that the grounding system or any other part of the electric service complies with current codes.

**Evidence of amateur wiring was noted at the exterior of the home. Amateur wiring does not conform to standards methods and could be a safety concern. Consult with a qualified electrician for evaluation and repairs as required.**



## SWITCHES AND RECEPTICLES

A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were tested. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters (GFCI), if present, were also tested. The installation of GFCI protected circuits and/or outlets located within six feet of water, in unfinished basement areas, garage and the exterior of the home is a commonly accepted practice and required by many municipalities. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI receptacles located in the kitchen, bathrooms, exterior and garage. The GFCI protected circuits were tested and were functional.

## ELECTRIC ADEQUATE

The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. **There were no major visual defects observed in the electrical system.**

## SMOKE ALARMS

There were functional smoke alarms found in the home. Property maintenance codes vary from area to area. Some municipalities require smoke alarms in every bedroom, while others only require them on each floor. Check with the local code enforcement officer for the requirements in your area. For safety reasons, the smoke alarms should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter.

## WINDOWS, DOORS, WALLS AND CEILINGS

A representative number of accessible windows and doors were operated and found to be functional. The primary windows were constructed of aluminum, single hung and sliding style, with insulated glass. All exterior doors were operated and found to be functional. The exterior door locks should be changed or re-keyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted. **There were no material defects observed in the windows or doors.**

**The rock floor in the master shower was not professionally done and not properly pitched. Although the shower appears to drain properly, caution should be used when entering the area.**

The master shower drain should be cleaned

The master shower control plate should be sealed at the wall.

**One or more of the insulated window panes throughout the home had a defective thermal seal. A defective thermal seal can be identified when fogging is observed between the panes of glass. A defective thermal seal does not affect the performance of the window. Repair of the thermal seal can be accomplished by replacing the affected glass panel.**

## INTERIOR WALLS AND CEILINGS

The interior wall and ceiling surfaces were finished with drywall. The interior wall and ceiling structure consisted of wood framing. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. **There were no material defects observed in the interior walls or ceilings.**

## LIVING AREAS

The living area consisted of a kitchen, a dining room, a living room, a den, 3 bedrooms, 2 bathrooms and a laundry room. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed. **There were no material defects observed in the living areas.**

## KITCHEN

The visible portions of the kitchen cabinets and counter tops were in good condition. The appliances were turned on to check operational function only. No consideration is given regarding the age or components that may be worn or otherwise affected by wear and tear or use. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components. The kitchen contained the following appliances:

## RANGE

The Kenmore electric radiant glass top range was inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

## HOOD FAN

The Samsung range hood and microwave combination was inspected and did appear to be functional. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.

## REFRIGERATOR

The Maytag refrigerator was inspected and did appear to be functional. The temperature setting and ice maker, if present, are not within the scope of the inspection.

## DISHWASHER

The Maytag dishwasher was tested and did appear to be functional.

## DRYER CONNECTIONS AND VENT

This note is supplied for informational purposes only, as many clients want to know the type of dryer connections available to them. A 240 volt outlet for an electric clothes dryer was installed in the laundry area. For safety reasons, no attempt was made to verify that the electrical outlet is properly wired or that power is present. Consult with a qualified contractor if the desired type of connection is not available.

A dryer vent was installed. The visible portion of the dryer vent was inspected and appeared to be functional and adequate for venting to the exterior of the home.

## HEATING SYSTEM

The heating system was inspected by The HomeTeam. Periodic preventive maintenance is recommended to keep this unit in good working condition. Annual maintenance of the heating and cooling equipment is essential for safe and efficient performance, which will maximize the system's useful life. The results of our visual and operational inspection of the heating system is described below:

The home was heated by a Trane electric forced air furnace  which is 23 years old. The unit was located in the garage of the home. It has an approximate net heating capacity of 30,000 BTUH.

## HVAC:ELECTRIC

Examination of heating systems is mechanically limited since the unit cannot be dismantled to examine all of the interior components. The electric heating elements can and will fail. Heating elements fail just like light bulbs; they are working one minute and not the next. The symptom of a failed heating element is usually lukewarm heat. The inspection does not include a heat-loss analysis, heating design or adequacy evaluation, energy efficiency assessment, installation compliance check.

Termination of HVAC condensate lines was raised above the floor drain or drain inlet. The condensate lines were trapped. HVAC condensate lines must be trapped and not in contact with wet drain inlets to prevent the possible migration of bacteria and mold into the air-handling system. The heating system was found to be functional but nearing the end of it's useful life. The furnace does not appear to have been recently serviced. It is recommended that the furnace be cleaned and serviced by a qualified contractor upon taking ownership of the property. The furnace should be serviced annually to maintain safe and efficient operation.

## AIR CONDITIONING

The electric outdoor air conditioner / heat pump condensing unit was a Trane. The unit is located on the right side of the home. This unit is approximately 23 years old. Periodic preventive maintenance is recommended to keep this unit in good working condition. The forced air cooling system was tested and found to be functional. The home inspection does not include a heat-gain analysis, cooling design or adequacy evaluation, energy efficiency assessment, installation compliance check or refrigerant evaluation.

**Due to the age and physical condition of the entire HVAC system, a complete evaluation and cleaning (including the air handler platform, ductwork and outside line set) of the system is recommended. The HVAC system is functional at this time but is nearing the end of it's life expectancy.**

## DUCTWORK

There was fiberboard and flex in the attic.There will be normal temperature variations from room to room. Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers. Inspection of air and duct supply system for adequacy, efficiency, capacity or uniformity of the conditioned air to the various parts of the structure is beyond the scope of the home inspection.

The disposable filter should be replaced on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection.

## CONTROLS

The control for the heating and air conditioning system was a 24 volt thermostat located on the hallway wall of the home. The thermostat was manufactured by Honeywell and was found to be in working order.

## POOL

The pool inspection is based solely on the conditions present at the time of the inspection. Latent or concealed defects are not within the scope of the inspection. Throughout this report, the terms "right" and "left" are used to describe the pool as viewed facing the pool from the street. Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute visually observable defects as defined in the Home Inspection Agreement. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items. Compliance with national codes, local codes or the insurability of the pool is not addressed. Leak testing requires specialized equipment and is beyond the the scope of this inspection. This inspection does not include testing the pool's chemical balance. This testing is considered routine pool maintenance.

The in-ground fresh water pool and spa was constructed of marcite. The water level around the perimeter of the pool was uniform. There was a light installed in the pool. The light was functional. The coping around the top of the pool was in good condition..

**The pool was originally designed to be used as a salt system but chlorine was being used. The salt equipment was disconnected and it is not known if it is functional. The pool surfaces were worn and**

**pitted, indicating the pool will need to be re-surfaced later. A licensed pool company should be called to further evaluate the equipment.**






## POOL DECK

The deck surrounding the pool and spa was constructed of Kool Deck. There were some hairline cracks in the pool decking. There were no visual defects observed in the pool.

## POOL PUMP

The 3 pool circulating pumps were operational at the time of the inspection.

## POOL FILTER

The 2 pool and spa cartridge filters were operational at the time of the inspection.

**If a more detailed evaluation of the pool equipment is desired, a qualified pool company should be called to evaluate the system.**

## POOL HEATER

The pool and spa LP gas heater was not tested at the time of the inspection. It is very old and may not be functional.

There was a screen enclosed Kool Deck patio located at the rear of the home. There were no major visual defects observed to the patio. There were 2 doors present and they were in good condition. The gutters were leaking and should be repaired. The screened enclosure should be washed to remove any algae or debris.