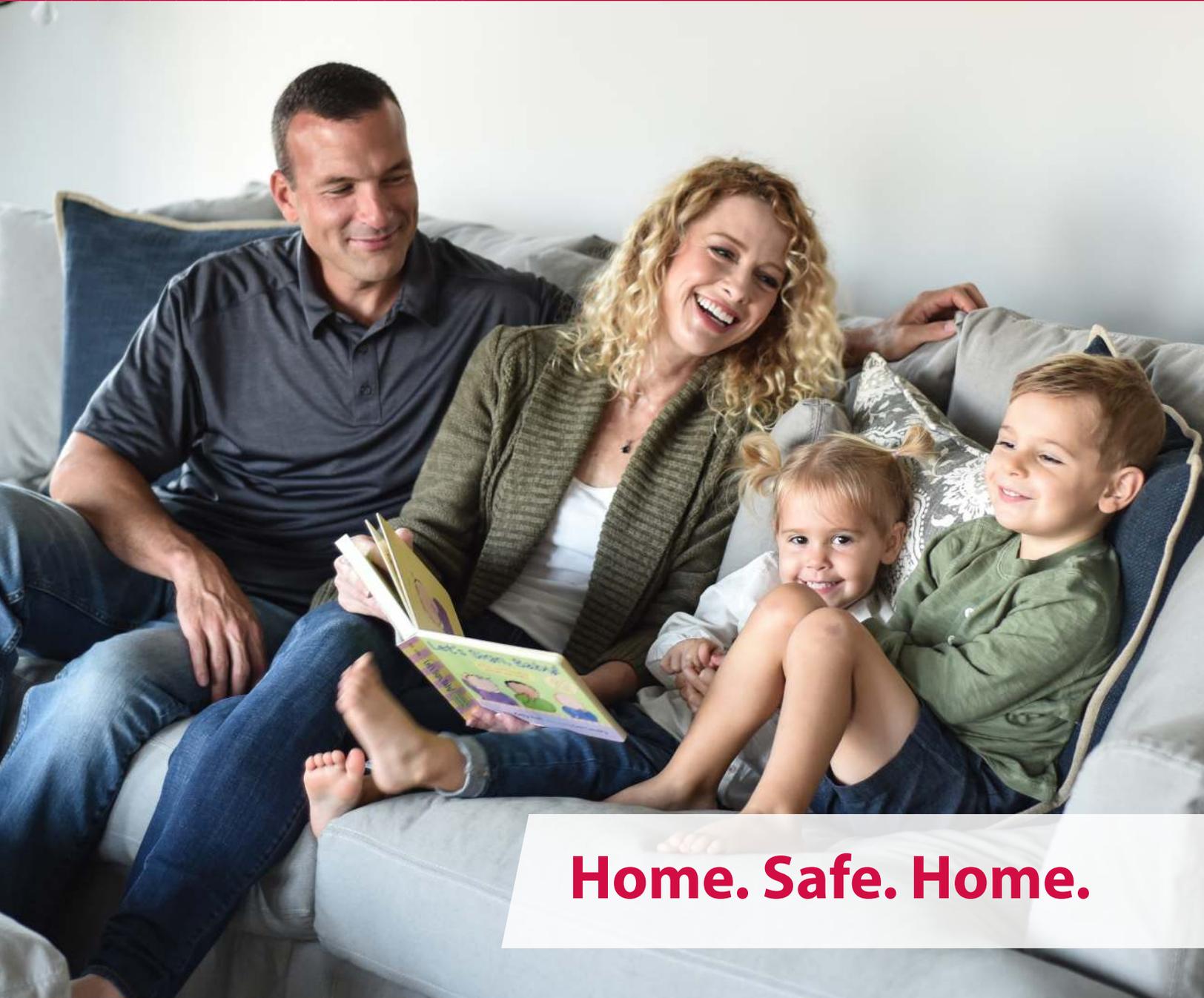




HomeTeam[®]

INSPECTION SERVICE

HOME INSPECTION REPORT



Home. Safe. Home.



WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

Thank you for allowing us the opportunity to serve you.



FAST



TRUSTED



ACCURATE

GENERAL DESCRIPTION

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street. The term "major visual defect" is defined in the Home Inspection Agreement, the terms of which are incorporated into this report. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., or deficiencies that would be apparent to the average person are not addressed.

All conditions are reported as they existed at the time of the inspection. This inspection is limited to the readily accessible, visible components of the home and does not address the insurability of the property. This is not a code inspection. Zoning, easements, setbacks, restrictions, or home owner's association rules, by laws or codes are not within the scope of this inspection. Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute major, visually observable defects as defined in the Home Inspection Agreement. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items. Some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read unnecessarily lengthy report about components that do not need to be serviced.

The inspected property consisted of a three story wood-framed structure with siding that was occupied at the time of the inspection. There were visual defects on the visual portions of the exterior siding and trim. The approximate temperature at the time of the inspection was 85 to 90 degrees Fahrenheit, and the weather was sunny and clear. The utilities were on at the time of the inspection. The home was situated on a lightly sloped lot. The general grade around the home appeared to be adequate to direct rain water away from the foundation. The age of the home, as reported by the records, was said to be fifteen to twenty years old. There was a concrete walkway leading to a wood porch in the front of the home. There were visual defects observed in the rails on the porches.



Exterior of home needs several areas of moisture damage repaired and total exterior re-painted to prevent further damage. Consult Contractor for further complete evaluation of the total exterior. Some areas of moisture damage visible are listed under maintenance concerns, Latent damage to areas of exterior are likely and may not be listed in this report.



Some areas of front and side porch decking has moisture damage. Consult Contractor for further evaluation.



Some areas of right side porch 1st floor has moisture damage to railing/lattice work. Consult Contractor for further evaluation.



Moisture damage front and side porch 1st floor to trim along bottom under decking



Loose treads rear right exterior steps



Loose trim boards under rear right exterior steps.



Moisture damage to rear right exterior steps railings and door /casing/ trim at top of steps.



Wood to ground moisture damage visible on right side of home. Consult Contractor for further evaluation



Moisture damage to front entry railings and rear porch railings

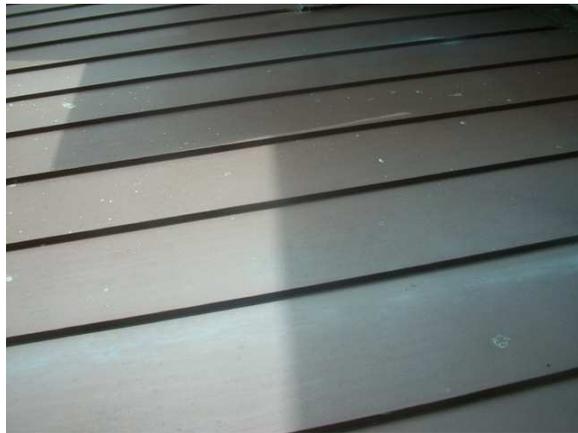


Moisture damage to carport posts (post to ground). Consult Contractor for further evaluation



ROOF STRUCTURE

The roof was a gable and hip design covered with asphalt/fiberglass and metal. Observation of the roof surfaces and flashing was performed from ground level with the aid of binoculars. The age of the roof covering, as reported by the records, was approximately (unknown) years. There was one layer of shingles on the roof at the time of the inspection. There was minimal curling and moderate surface wear observed on the roof shingles at the time of the inspection. These conditions indicate the roof shingles were near the middle of their useful life. This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use. There were no major visual defects detected on the exterior of the roof.



PORCHES

There was a wood decking located on porches of the home. There appeared to be some areas of deterioration of the wood. A wood decking should be cleaned and sealed regularly to prevent deterioration. There were visual defects observed on the visible portions of the decking and rails.



There was a concrete driveway in the front of the home which led to the home. There were no major visual defects observed in the driveway.

Cracks in driveway were noted appear due to expansion and settlement.

SCREEN PORCH

There is a screen porches located in 1st and 2nd floors of the home. There was damaged screening on porches or windows. There were not visible major defects with the screen porches



FOUNDATION

The foundation was constructed of poured concrete. There were no major visual defects observed on the visible portions of the foundation.



CRAWL SPACE

The crawl space was accessible at the time of the inspection, and was damp . Because of its configuration, it was not possible to inspect all areas of the crawl space. There were visual defects observed in the crawl space.



There is debris in crawl space which needs removal to prevent rodents and moisture issues.





FLOOR STRUCTURE

The visible floor structure consisted of a plywood subfloor, supported by two-inch by ten-inch wood joists spaced sixteen inches on center. There was wood center beams and 8x16 and 12x12-inch concrete block walls, posts or piers for load bearing support. There were visual defects observed in the visible portions of the floor structure.

Joist moisture readings of 20 percent in crawl space. Moisture readings in crawl space can change due to several factors. Inspector recommends inspecting crawl space regularly to prevent moisture damage to floor structure.

There was visible moisture damage/staining to plywood, joist and beam along left side of home under master bedroom bathroom area in crawl space. Because of plywood covering area inspector could not determine cause. Consult Contractor for further complete evaluation



There are several areas of plywood /insulation under home covering floor structure missing. Areas should be repaired to prevent rodent entry into floor structure.





FLOOR INSULATION

Home has plywood and insulation covering floor structure of home visible in crawl space. Plywood and insulation limits the visible inspection of the underside of the floor structure.

Insulation in areas of floor structure has fallen or falling.



PLUMBING

The visible water supply lines throughout the home were polybutylene and pex pipe. The water was supplied by a public water supply. The visible waste lines consisted of PVC pipe. The home was connected to a public sewer system. The under-floor drain lines are considered underground utilities and are specifically excluded from the inspection. The lines are not visible or accessible and their condition cannot be verified during a visible home inspection. Simply running water into floor drains will not verify the condition of the waste line infrastructure under the home. Consult with a qualified plumber for a camera inspection of the sewer laterals if there is any concern as to the condition of the waste lines under the home. All plumbing fixtures permanently attached to a home or appliance were operated and inspected for visible leaks. Washing machines and drain lines are specifically excluded from the inspection. Water flow throughout the home was average. Water pressure was tested hose bib and found to be 70 to 80 pounds per square inch. There were several areas of repairs to plumbing visible in crawl space. Because of age of plumbing repairs should be expected. There were no major visual defects observed in the visible portions of the plumbing system.

Most modern homes may have a backflow preventer installed at or near the meter. Many municipalities require them to be added on older homes when work on the plumbing system is performed, or if an irrigation system is present. Backflow preventer should be tested annually. In systems with a backflow preventer, an expansion tank should be present to avoid overpressure conditions created by water expansion in a closed system. Expansion tanks are typically located at the cold water supply to the water heater.

The water meter was located in the front yard. The main water shutoff valve for the home was located adjacent to the water service entry point at meter. There is visible areas of repairs to water supply lines in crawl space.

Polybutylene water supply pipes were found at the time of inspection. Polybutylene water lines have had history failure. Log on to www.pbpipes.com on the internet to obtain more in-depth information on polybutylene pipe.

Moisture damage to wood flooring behind toilet in 1/2 bathroom. No moisture present at time of inspection



Master shower Steamist not functioning. Consult Plumber for further evaluation



LP TANK

The under ground Lp tank was located in the front yard and on at time of inspection. Although no actual testing was performed to detect the presence of gas fumes, there was no noticeable odor of gas detected at the time of the inspection.



WATER HEATER

There was an 80 gallon capacity, electric water heater located in the attic. The water heater was manufactured by Rheem, model number 82V80-2 and serial number 0508D18962. A temperature and pressure relief valve (T & P) was present. Because of the lime build-up typical of T & P valves, we do not test them. An overflow leg was present. It did terminate close to the floor. Your safety depends on the presence of a T & P valve and an overflow leg terminating close to the floor. Water heater due to location should drain pan. Water heater does have a drain pan. Drain pan does have drain line to pan. The water heater was functional

The life expectancy of a domestic water heater is 10 to 15 years. Water heaters generally are not replaced unless they leak. It is very important that water heaters have a properly installed relief valve and discharge piping; the valve discharge should point downward and within 6" of floor or ground



ELECTRICAL SYSTEM

The underground electric service wire entered the home on the left side wall. The electric meter was located on the exterior wall. There was not a main breaker located next to electrical meter on exterior of home.



The service wire entered two Square D service panesl, located on the utility room wall with a 200 amp and 120/240 volt rated capacity. The branch circuits within the panel were copper. These branch circuits and the circuit breaker to which they were attached appeared to be appropriately matched. The visible house wiring consisted primarily of the Romex type and appeared to be in good condition.



RECEPTACLES

A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were inspected and were found to be functional. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters(GFCI), if present, were also tested. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits located in the home. The present and tested GFCI's were functional. A non-functional GFCI should be replaced with functional GFCI's. The system does not include arc-fault circuit interrupters, which are required by modern electrical code to protect 15 and 20 amp branch circuits serving bedrooms, You may wish to upgrade these circuits if system does not include arc faults.

Exterior electrical outlet(s) have broken weather proof cover plates.



Pool electrical light switch mounted on face of rear porch loose and needs to be re-secured



The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. There were no major visual defects observed in the electrical system.

LIVING AREA

The first level consisted of kitchen, game room, bedrooms living room, bathrooms, utility room, and dining area. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc. are not addressed. There were no major visual defects observed on the first level.

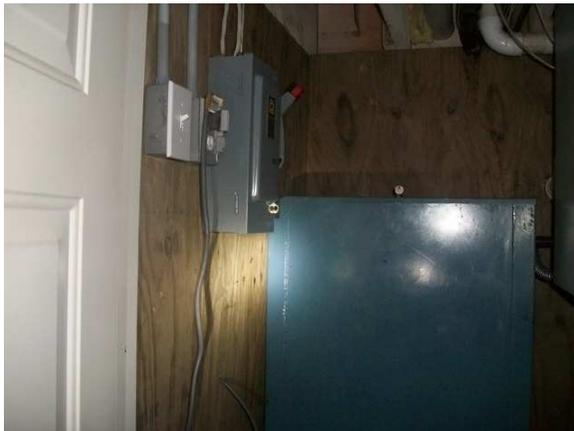
Interior floor covering was in good condition. Covering consisted of wood.





ELEVATOR:

Elevator was tested and found to be functional. Elevators are tested for function only. Rating and capacity are beyond the scope of the inspection. Elevator mechanical equipment is located in lower-level and appeared in good condition There were no visible defects noted during the elevator function.



WALLS AND CEILINGS

The interior wall and ceiling surfaces were finished with drywall. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. There were no major visual defects observed in the interior walls or ceilings.

Ceiling light trim and speaker covers missing in kitchen, bathroom and bedrooms .



Moisture stain /damage kitchen ceiling. No moisture present at time of inspection. Consult Contractor for further evaluation.



Moisture stain in 2nd floor front bedroom ceilings. No moisture present at time of inspection



Moisture stain 3rd floor bedroom ceiling. No moisture present at time of inspection



WINDOWS AND DOORS

A representative number of accessible windows and doors were operated and found to be functional. The primary windows were constructed of wood, casement and double hung style, with double pane glass. All exterior doors were operated and found to be functional. The exterior door locks should be changed or re-keyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted. There were moisture damage defects observed in the windows or doors.

There are several damaged or missing window screens



Several windows have moisture damage to casing /trim. Consult Contractor to further evaluate all windows/casing/trim





Door handles /knobs from living room /dining area to screen porch need repairs.



Moisture damage to exterior shutters and shutter hardware





A representative number of the windows were painted shut and could not be operated to verify operation or check for defects. The window(s) need maintenance to free them for opening and further inspection.

Moisture damage 3rd floor rear door/ casing/floor to deck



Moisture damage under windows on interior walls in dining area and 2nd floor rear den window(s)



Moisture damage right side 2nd floor entry door/casing/trim



SMOKE-ALARMS

For safety reasons, the local Fire Department or Fire Chief should be consulted for current and local requirements and further evaluation of your new property or home's fire safety needs, including placement of detectors, alarms and emergency egress standards. Additional smoke alarms and/or carbon monoxide detectors may be recommended and existing ones tested upon occupancy. It is recommended to install a smoke and carbon monoxide alarm on every level, especially in areas where people may be sleeping and then tested on a monthly basis. The batteries (if any) should be replaced with new ones when you move into the house and again every six months thereafter. In addition, it is recommended that a smoke and carbon monoxide alarm be placed on or near the ceiling of each room that has a furnace, gas or oil fired water heater, fireplace, space or monitor type heater, wood or pellet stove and in the kitchen. In rooms with these devices it is also prudent to have a fire extinguishers strategically placed at the entrance of the room for quick and easy access. An emergency plan, including a second exit for each level of the home, is also recommended. Carbon monoxide alarms should be present(if any gas is available in home) in each area giving access to bedrooms and powered by both electrical service (plugged in or hardwired) and by battery. It is outside the scope of this inspection to determine whether the carbon monoxide detector(s) are hard wired electric and/or battery powered. There were no Carbon Monoxide Alarms found in the house. For safety reasons, the carbon monoxide alarms should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter. Smoke detector should be present within bedrooms and/or areas giving access to bedrooms and powered by both electrical service and by battery when possible. Any smoke detector located within 20 feet of a kitchen, laundry room or bathroom containing a tub or shower should be photoelectric-type smoke detector. It is outside the scope of this inspection to determine whether the smoke alarms are hard wired electric, battery powered, photoelectric or ionization type. Smoke Detectors were found in the house. For safety reasons, the smoke alarms should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter.

CLOSET LIGHTS

Safety Note: The home has closets that have overhead lights installed. Objects should be kept 12 to 18 inches away from the lights to avoid a potential fire hazard.

KITCHEN CABINETS AND APPLIANCES

The solid surface material counter tops in the kitchen were in good condition.

The kitchen cabinet doors and drawers were inspected and appear to be in good condition. The kitchen flooring was wood and in fair condition.



The Badger disposal was inspected and did appear to be functional. The efficiency rating is not within the scope of the inspection.

The General Electric electric built-in oven and counter top range was inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

The General Electric refrigerator was inspected and did appear to be functional. The temperature setting and ice maker, if present, are not within the scope of the inspection.

The General Electric dishwasher was observed through a complete cycle and did appear to be functional when set on the "wash" and "drain" cycle.

Clothes washer and dryers or connecting electric, water or drain lines are not inspected. There were washer and dryer in home at time of inspection. Overflow pans under washer, with a drain line routed to the exterior, are always recommended, especially when laundry area is on the second level or above. When hooking up a dryer, it must be kept vented to the exterior to prevent moisture from building up in the house. Dryer vent lines require periodic inspection and cleaning to avoid a lint buildup that may cause a fire.



Dryer vent pipe broken loose in crawl space and needs repairs



There was a AirVac Central Vacuum system located in the closet . The vacuum was turned on at the canister and appeared to be non- functional. The cleaning efficiency of the unit is outside the scope of the inspection. The canister should be emptied regularly to insure proper working order.

SECOND-LEVEL-ROOMS

The second and third of the home consisted of den, bedrooms and bathrooms. There were no major visual defects observed on the second level.



ATTIC STRUCTURE

The attic was accessed through a scuttle in the 3rd level. The attic above the living space was insulated with batted insulation, approximately 6-inches in depth. Ventilation throughout the attic was provided by soffit and roof vents. The roof structure consisted of two-inch by eight /ten-inch wood rafters spaced 16 inches on center and plywood sheathing. Because of the configuration of the framing and absence of a catwalk, which limited access, it was not possible to inspect all areas of the attic. There was no moisture visible in the attic space. The absence of visible indications of moisture is not necessarily conclusive evidence that the roof is free from leaks. The only way to be sure a roof does not leak is to inspect the underside of the roof during a heavy rain. There were no major visual defects observed in the attic or roof structure. As with all aspects of the home inspection, attic and roof inspections are limited in scope to the visible and readily accessible areas. Many areas of the roof are not visible from the attic especially near the base, where the largest volume of water drains. The presence of or active status of roof leaks cannot be determined unless the conditions which allow leaks to occur are present at the time of the inspection. Please be aware that rain alone is not always a condition that causes a leak to reveal itself. The conditions that cause leaks to occur can often involve wind direction, the length of time it rains, etc. The inspection does not offer or imply an opinion or warranty as to the past, present or future possibility of roof, skylight, flashing or vent leaks.



HEAT AND COOLING SYSTEMS

The electric outdoor heat pump condensing units were a Bryant. The units are located in front of the home. Air handlers are located in crawl space and attic. Periodic preventive maintenance is recommended to keep these units in good working condition. System or systems are not checked for adequacy or efficiency, function only. The heating and cooling systems were found to be functional. The major components of an air conditioning condensing unit are the compressor and the condensing coil. The estimated age of a condensing unit is taken from the equipment nameplate. Sometimes the compressor, which is not visible, may have been replaced since the original installation. Because of age of systems repairs or replacement should be expected.

The cooling systems are visually inspected but not operated when outdoor temperatures have been below 60 degrees Fahrenheit within the past 24 hours, extended operation of the cooling system could damage the compressor. It is recommended that the system be cleaned and serviced in the spring.

There will be normal temperature variations from room to room and level to level, most noticeable between levels.



DUCTWORK

Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers.

Damaged ductwork right and left side crawl space entry needs repairs



FILTERS TYPE

The disposable filter should be replaced on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection.

CONTROLS

The control(s) for the heating and air conditioning system were 24 volt thermostat(s) located on the interior walls of the home. The thermostat(s) were manufactured by Carrier and were found to be in working order.



This report is based upon a visual inspection and does not constitute a guarantee or warranty of any kind. This inspection does not eliminate the need for routine maintenance, or purport to evaluate the system design. The condition of the pool system is listed below.



Inspector inspected the pool. This inspection does not include testing the chemical balance of the pool and/or spa. This testing is considered routine maintenance. No analysis was performed to determine if the pool and/or spa is leaking. No test of the water quality, including the bacteria level, was conducted. Annual maintenance of the pool and/or spa is essential for safe and efficient performance.

The in-ground pool was constructed of gunite. The deck surrounding the pool was constructed of concrete. There were some vertical separations and settlement cracking in the pool decking. There were visual defects observed in the pool. There are missing tile on top of pool interior wall and interior finish and pool are at near the end of its useful life and will need renovation



The Jandy pool diatomaceous earth (DE) filter was operational at the time of the inspection.

The Pentair pool LP gas heater was not operational at the time of the inspection.



The Pentair pool circulating pump was operational at the time of the inspection.

IRRIGATION SYSTEM:

Irrigation system was tested and found non- functioning. Irrigation system is tested for function only. Inspection does not include or within the scope of the inspection coverage , underground lines , heads , drip lines, under ground wiring. System was not tested for under ground leaks. Consult Contractor for further evaluation of system

SUMMARY:

The purpose of this summary is to provide a "quick view" of the results of the home inspection. Please be sure to read the full body of the inspection report, as it contains much more detail about your new home. Any recommendations for additional evaluation must be performed prior to the conclusion of the inspection contingency period. The following is a summary of the inspection performed at 1670 Moultrie, Chucktown, SC 29483: Categorization of items is subjective in nature, and the client(s) should reach their own determination of priorities. All pictures that may be included in this report are to be considered as examples of the visible deficiencies that may be present. If any item has a picture, it is not to be construed as more or less significant than items with no picture included.

Major Concerns

- Exterior of home needs several areas of moisture damage repaired and total exterior re-painted to prevent further damage. Consult Contractor for further complete evaluation of the total exterior. Some areas of moisture damage visible are listed under maintenance concerns, Latent damage to areas of exterior are likely and may not be listed in this report.

Maintenance Concerns

- Some areas of front and side porch decking has moisture damage. Consult Contractor for further evaluation.
- Some areas of right side porch 1st floor has moisture damage to railing/lattice work. Consult Contractor for further evaluation.
- Damaged ductwork right and left side crawl space entry needs repairs
- Moisture damage front and side porch 1st floor to trim along bottom under decking
- Loose trim boards under rear right exterior steps.
- Loose treads rear right exterior steps
- Moisture damage to rear right exterior steps railings and door /casing/ trim at top of steps.
- There are several damaged or missing window screens
- Wood to ground moisture damage visible on right side of home. Consult Contractor for further evaluation
- There was visible moisture damage/staining to plywood, joist and beam along left side of home under master bedroom bathroom area in crawl space. Because of plywood covering area inspector could not determine cause. Consult Contractor for further complete evaluation
- There is debris in crawl space which needs removal to prevent rodents and moisture issues.
- There are several areas of plywood /insulation under home covering floor structure missing. Areas should be repaired to prevent rodent entry into floor structure.
- Moisture damage to front entry railings
- Moisture damage to carport posts (post to ground). Consult Contractor for further evaluation
- Several windows have moisture damage to casing /trim. Consult Contractor to further evaluate all windows/casing/trim
- Door handles /knobs from living room /dining area to screen porch need repairs.
- Ceiling light trim and speaker covers missing in kitchen.
- Moisture stain /damage kitchen ceiling. No moisture present at time of inspection. Consult Contractor for further evaluation.
- Moisture damage to wood flooring behind toilet in 1/2 bathroom. No moisture present at time of inspection
- Master shower Steamist not functioning. Consult Plumber for further evaluation
- Dryer vent pipe broken loose in crawl space and needs repairs
- Moisture stain in 2nd floor front bedroom ceilings. No moisture present at time of inspection
- Moisture stain 3rd floor bedroom ceiling. No moisture present at time of inspection
- Moisture damage to exterior shutters and shutter hardware
- A representative number of the windows were painted shut and could not be operated to verify operation or check for defects. The window(s) need maintenance to free them for opening and further inspection.
- Moisture damage 3rd floor rear door/ casing/floor to deck
- Insulation in areas of floor structure has fallen or falling.
- Moisture damage under windows on interior walls in dining area and 2nd floor rear den window(s)
- Moisture damage right side 2nd floor entry door/casing/trim

Safety Concerns

File Number: **SAMPLE REPORT**

Address of Inspection: **1670 Moultrie**

- Exterior electrical outlet(s) have broken weather proof cover plates.
- Pool electrical light switch mounted on face of rear porch loose and needs to be re-secured