



HomeTeam[®]

INSPECTION SERVICE

HOME INSPECTION REPORT



Home. Safe. Home.



HomeTeam[®]
INSPECTION SERVICE



CONVENIENT | EFFICIENT &
BOOKINGS | INSPECTIONS
FAST REPORTS

WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

Thank you for allowing us the opportunity to serve you.



FAST



TRUSTED



ACCURATE



Dear John Doe,

On Tuesday, March 26, 2024 The HomeTeam Inspection Service made a visual inspection of 123 Anywhere Street, Anytown, USA 11111. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Inspection Agreement.

If I can be of any assistance, please feel free to call me at . Thank you for choosing HomeTeam.

Sincerely,

A handwritten signature in black ink that reads "Alan Benavides". The signature is written in a cursive, flowing style.

Alan Benavides
HomeTeam Inspection Service
Florida Home Inspector HI16910

The home was occupied with furniture and stored items that made some wall surfaces, windows, electrical receptacles, under sink plumbing traps, closets, etc. not accessible for inspection. Our inspectors are not allowed to move furniture or personal belongings. The conditions under the flooring, baseboards, Wall cavities, behind cabinets or shelving, areas that are concealed, cannot be inspected for any hidden conditions as the inspectors are not allowed to remove carpeting or other flooring or move personnel items..





GENERAL DESCRIPTION

Throughout this report, the terms “right” and “left” are used to describe areas of the structure as viewed from the street. A system or component has a material defect if it is either unsafe or not functioning and cannot be replaced or rendered safe or functional for less than \$1,000. The cosmetic condition of the paint, wall covering, carpeting, window coverings, to include drywall damage, etc., is not addressed. **Any requested repairs should be performed by a licensed contractor before closing and a receipt should be left for your records and protection. All conditions are reported as they existed at the time of the inspection.**

Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute material, visually observable defects, as defined in the Inspection Agreement. **Conditions that are not visible, hidden damage (especially under flooring or slabs, inside wall cavities, under roofing materials and behind exterior siding and fascia boards) are not within the scope of inspection.** Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items. When material defects are observed or minor repairs need to be made, we recommend you consult a qualified licensed professional. Cost estimates are advised prior to closing. All contractors should work for you, as their evaluation/observation may make you aware of findings not listed in this report. A home inspection is not a home warranty, and HomeTeam strongly recommends purchasing a home warranty from a reputable company to cover items that will fail in the course of time.

The home was occupied at the time of the inspection. The approximate temperature at the time of the inspection was 80-85 degrees Fahrenheit, and the weather was sunny and clear. The seller and seller's agent were present during the inspection.

The inspected property consisted of a two story masonry wall structure with wood siding covering the exterior of the home. There were no material defects observed in the visible portions of the siding.

The home was situated on a level lot. The general grade around the home appeared to be adequate to direct rain water away from the foundation. The age of the structure was reported to be 8 years old.

There was a gravel walkway leading to the concrete stairway in the front of the home. There were no material defects observed in the visible portions of the walkway and the Stairs.

The wooden staircase in the front of the home showed signs of weathering. Regular maintenance may help to prolong

the life of the wooden components.



Extensive plant and/or tree overgrowth was observed against the structure. HomeTeam recommends trimming or removing this growth to prevent possible damage including insect infestation, moisture buildup, and impact damage to the roof and structure.



There was a Gravel and concrete driveway in the front of the home . There was normal settlement and expansion cracking in the concrete. Surface defects in driveways develop and progress with age and are considered normal as long as they do not create a safety hazard. Tree roots, erosion, and heavy equipment or vehicles are typically the main reason for driveways to crack or break. Sealing defects may help slow the rate of deterioration. Areas of concern should all ways be looked at by a Licensed contractor that specializes in driveways. There were no material defects observed in the visible portions of the driveway.



FOUNDATION

The foundation was constructed of Concrete filled steel columns A single inspection cannot determine whether movement of a foundation or wall structure has ceased. Any exterior cracks should be patched and monitored regularly

for movement. There were no material defects observed in the visible portions of the foundation.



TYPES OF CRACKS

There were several minor hairline cracks observed in the masonry elements. Some settlement and expansion cracking in masonry construction in Florida, if not excessive, is considered normal. Cracks that become more than 1/16" wide, become displaced, change over a short time or develop an unusual pattern should be examined by a qualified contractor or engineer. Most normal cracking develops within the first 2-3 years after completion. There were no cracks observed in the block walls that appeared to be significant at the time of the inspection. Any cracking should be monitored and kept well sealed and painted. These cracks are typical of Florida masonry, and did not appear to have any structural significance at the time of the inspection

ROOF STRUCTURE

The roof was a gable design covered with metal roof panels. Observation of the roof surfaces and flashing was performed from ground level with the aid of binoculars and a ladder overlooking the eaves and with a drone. The age of

the roof covering was reported to be 5 years old.

The panel seams appeared to be adequate. The observed washers/sealant for the fastener holes appeared to be adequate.

Metal roofs, if properly maintained, can last a long time. The roof should be inspected annually to ensure these areas, including any sealant or washers, are in good order. Any deterioration of these items should be addressed promptly to avoid water intrusion and further deterioration. There were no signs of rust seen at time of inspection. Any signs of rust should be addressed, as this means the protected coat on the metal has deteriorated.

There were no material defects observed in the visible portions of the roof. While doing a records search there was a permit found for this home. Date 01/23/2019

This visual roof inspection is not intended as a warranty or a guarantee of the remaining life of the roof. Mechanical failures could occur at anytime, any leaks should be evaluated by a licensed roofing contractor Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use. Please note that the water proofing membrane on top of the roof sheathing cannot be viewed from a visual inspection.

Sometimes our opinion of a roof may differ from that of an insurance provider/adjuster or roofer. Some insurance providers/adjusters or roofers are more particular than others. We are there to state the overall condition of the roof; the roof is not considered to be defective unless there are visible leaks and/or material damage or wear that indicates failure is imminent. If we note any moderate to serious curling or surface wear, lifted edges, or evidence of a hail event, we recommend getting a second opinion or approval from your insurance provider regarding the roof. We do not make installation judgments regarding roof covering, as we are unable to tell due to being concealed under the roofing material or appropriate pitch, etc.





City of Marathon, FL

My Account Search

Building Permit
P-19-1266

Applicant: Location: 320 CALZADA DE BOGAVILLA, 96000, FL 33006
View location details

Created: Jan 28, 2019 Status: Complete Expires: ...

Details Files (0)

Project Information

Accurate Description of Work In Detail *

We Will Tear Off Existing Roof, We Will Install Polyglass Peel & Stick Base Sheet and We Will install 15 V Crimp Metal

Contractor Type * Structural Type *

Roof Type of Construction * Type of Roof *

Documents

No documents have been found...

The roof drainage system was in the front and the back of the home and consisted of metal (aluminum, galvanized, cooper, or any other metal product) gutters and downspouts which appeared to be functional at the time of the inspection. The gutters Appeared to be pushing water away from the foundation There were no material defects observed in the visible portions of the gutters and downspouts.

Gutters and downspouts should receive routine maintenance to prevent premature failure and drainage problems that may lead to water intrusion. **Observation of fascia behind the gutters is obscured by the gutters.** Keeping the gutters clean will help reduce the likelihood of overflows and resulting damage to fascia or roof decking. Homeowners should be aware that gutters that have been dirty or clogged for an extended time may have led to unobservable damage to fascia or roofing components i.e roof deck.

Water flow from downspout extensions or splash blocks should be carried several feet from the foundation towards a down-slope to ensure water drains well away from the foundation. These measures will help ensure excessive water is not deposited in close proximity to the foundation, which can lead to interior water intrusion, particularly during periods of heavy rain or water-saturated soil. A properly-functioning drainage system is one of the most important items for extending the life expectancy of a house and its components.



ATTIC STRUCTURE

The attic was accessed via a scuttle in hallway and was not entered.

The attic above the living space was insulated with fiberglass batted and loose fill insulation, approximately 6-10-inches in depth.

Ventilation throughout the attic was provided by soffit vents. The attic ventilation appeared to be adequate.

The roof structure consisted of two-inch by four-inch wood rafters spaced 16 inches on center and plywood sheathing.

There was no moisture visible in the attic space. The absence of visible indications of moisture is not necessarily conclusive evidence that the roof is free from leaks. There were no material defects observed in the visible portions of the attic and roof structure.

As with all aspects of the home inspection, attic and roof inspections are limited in scope to the visible and readily accessible areas. Due to configuration, parts of the attic were not accessible. Many areas of the roof are not visible from the attic especially near the base, where the largest volume of water drains. The presence or active status of roof leaks cannot be determined unless the conditions which allow leaks to occur are present at the time of the inspection, ie, heavy rain combined with high winds. Please be aware that rain alone is not always a condition that causes a leak to reveal itself. The conditions that cause leaks to occur can often involve wind direction, the length of time it rains, etc.



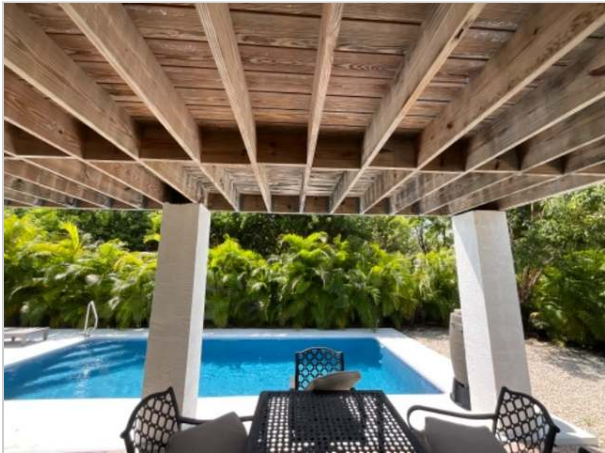


Because of the configuration of the trusses, ductwork, and insulation, which limited access, it was not possible to inspect all areas of the attic.



PATIO/LANAI

There was a concrete patio located in the back of the home. There were no material defects observed in the visible portions of the patio.





DECK

There was a wood deck located On the front and rear of the home. The vertical supports on the deck appear to be adequate to support the outer load of the deck. Construction methods, attachment requirements and supporting load specifications have changed dramatically over the years. The deck inspection provides a general condition report and is not meant to imply that the construction meets current standards. Consult with the local municipality for current deck construction requirements. There did not appear to be significant deterioration of the wood.

There were handrails on the deck that was secured. There were no material defects observed in the visible portions of the deck or deck support structure.

Because wood decks are exposed to the elements, they should be sealed and painted on an regular basis . Any wood that is decayed should be replaced, sealed and painted. Backing out nails, screws, rusted joist or joint plates should be replaced as well.

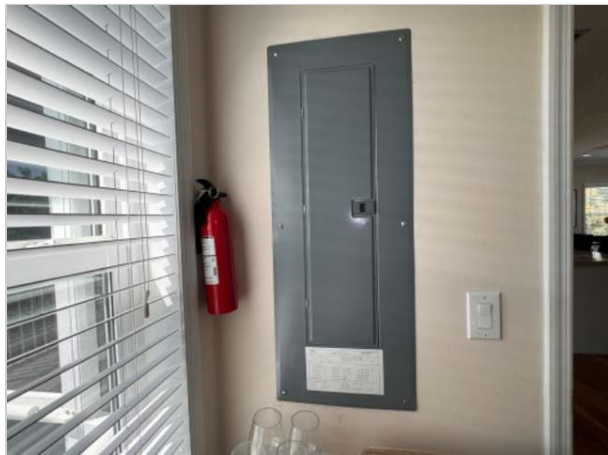


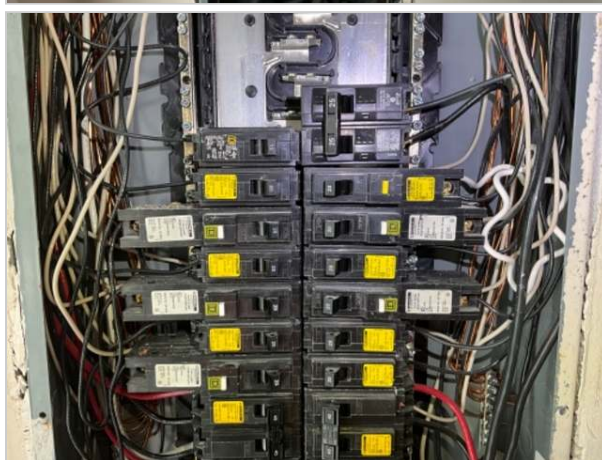
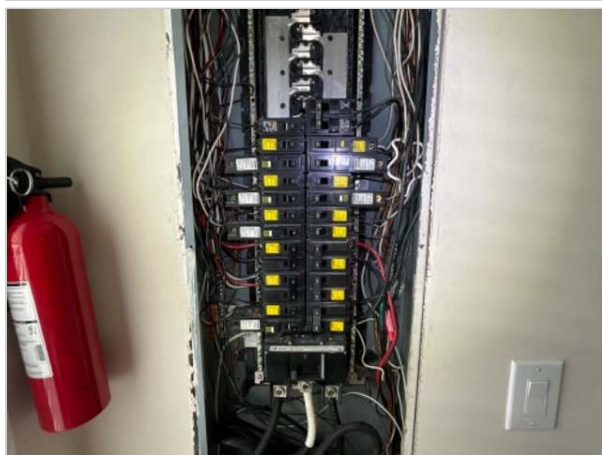


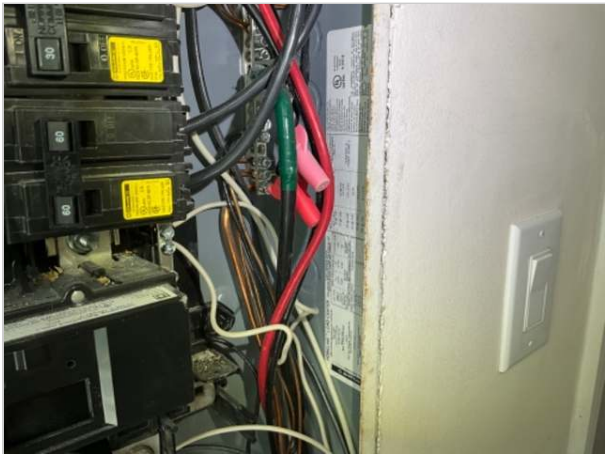
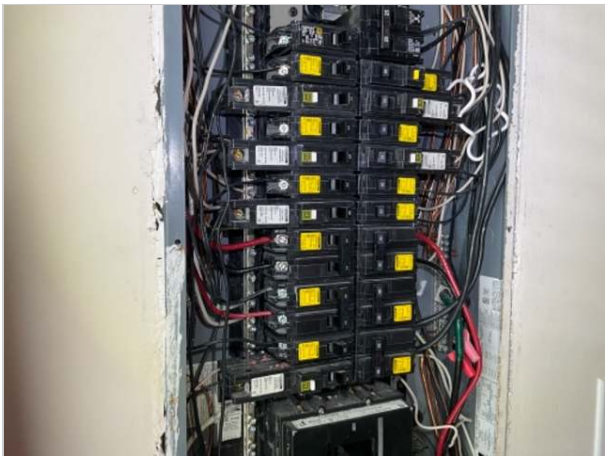
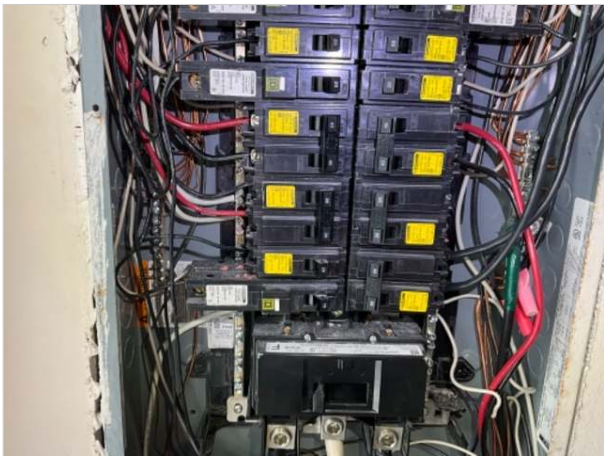


ELECTRIC SERVICE

The overhead electric service wire entered the home on the left front. The electric meter was located on the exterior wall.. The system was properly grounded to a ground rod The service wire entered a Square D service panel, was located on the laundry room with a 200 amp and 120/240 volt rated capacity. The branch circuits within the panel were aluminum. These branch circuits and the circuit breakers to which they were attached did appear to be appropriately matched. The main shut off was located at the service panel. The visible wiring consisted primarily of the rigid conduit type and appeared to be in good condition.







Ground rod is sticking up out of the ground. It is recommended that this condition be further evaluated by a licensed electrical contractor for repair.



There was corrosion on the electrical service entrance box. Maintenance would be recommended in order to access the main breaker with ease whenever needed.



A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were inspected and were found to be functional. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters(GFCI), if present, were also tested. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits located in this property.

Note outlets within six feet of a water source: sinks, pools, outdoor irrigation system should be GFCI protected. GFCI's may be connected and reset at the outlets located i.e. the garage, exterior, and bathrooms.

Please note that electrical codes have changed through the years. Although the structure does not need to meet current code for a real estate transaction, any work an electrician does must meet the current code requirements. Often, electricians will recommend changes that, in the context of a real estate transaction, are considered upgrades rather than necessary requirements. Keep these items in mind if negotiating repairs.





electric adequate or inadequate

The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. There were no material defects observed in the visible portions of the electrical system .

SMOKE ALARMS & CARBON MONOXIDE DETECTORS

There were smoke alarms found in the property. For safety reasons, the smoke alarms should be tested upon occupancy. The batteries (if any) should be replaced on an annual basis and the smoke alarms should be tested on a monthly basis. Safety experts recommend that there be a detector in each room and recommend having a fire evacuation plan and periodic fire drills. Smoke alarms should be replaced every 7 years per most industry experts. HomeTeam Recommend replacing smoke Detectors upon moving into the property.

There WERE NO Carbon Monoxide detectors on this property. A **carbon monoxide detector** or **CO detector** is a device that detects the presence of the Carbon Monoxide (CO) gas in order to prevent CO poisoning. CO is a colorless, tasteless and odorless compound produced by incomplete combustion of carbon-containing materials. It is often referred to as the "silent killer" because it is virtually undetectable by humans without using detection technology. Elevated levels of CO can be dangerous to humans depending on the amount present and length of exposure. Smaller concentrations can be harmful over longer periods of time while increasing concentrations require diminishing exposure times to be harmful.

NOTE: HomeTeam recommends that all structures with gas supply lines be protected with CO monitors located in areas which will most improve the safety of the structure's occupants.



PLUMBING

The visible water supply lines throughout the home were polybutylene and CPVC pipe. The water was supplied by a public water supply. Water shutoff valves are not tested as part of the home inspection since water shutoff valves that have not been operated for an extended period of time often leak after being operated, and we would not be able to

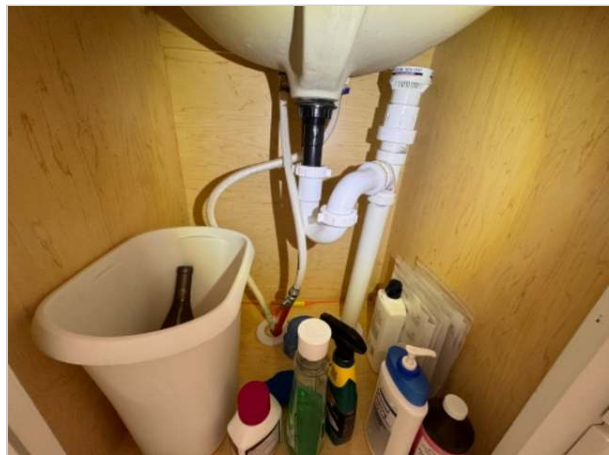
repair a leaking valve during the home inspection. The visible waste lines consisted of PVC pipe. The home was reported to be connected to a public sewer system. The functionality of washing machine drains or under-floor drain lines is outside the scope of the inspection. These lines are considered underground utilities and are specifically excluded. The lines are not visible or accessible, and their condition cannot be verified during a visible home inspection. Simply running water into floor drains will not verify the condition of the waste line infrastructure under the structure. Consult with a qualified plumber for a camera inspection of the sewer laterals if there is any concern as to the condition of the waste lines under the structure. The HomeTeam does not test for the presence of a septic tank, HomeTeam recommends that buyers of homes verify that the home is connected to a public sewer system or septic tank. All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. The condition of any pipes (in slabs, under insulation, and behind walls etc.) that can not be observed is not within the scope of the home inspection. Water flow throughout the structure was average. Water pressure appeared to be adequate. No water quality or biological testing was performed. There were no material defects observed in the visible portions of the plumbing system.

Please note that water pressure and drainage often change and fluctuate over time, and the buyer should monitor pressures after occupancy. Higher water pressures may cause advanced deterioration of supply systems and components, premature failure of faucets and connections, and leaks. If concerned about excessive water pressure, consult with a professional plumber regarding options, such as installation or adjustment of a regulator at the main water shutoff location.

This report is not intended to be an exhaustive list of minor plumbing issues. Concealed, latent or intermittent plumbing issues may not be apparent during the testing period.

Determining whether supply and drainage systems are public or private (city, well, septic, etc) is not part of a home inspection. Consult with the seller's disclosure and other sources to help determine that information.

Note: Exterior water pipes, water spigots, and other plumbing fixtures should be insulated. The purpose of insulating the plumbing is to help prevent any cracks or burst from freezing. Plumbing pipes, fixtures, water heaters, can produce a leak at anytime with out warning. Any leaks should be fixed immediately to prevent any damage to the home. A licensed plumbing contractor should perform any repairs needed.

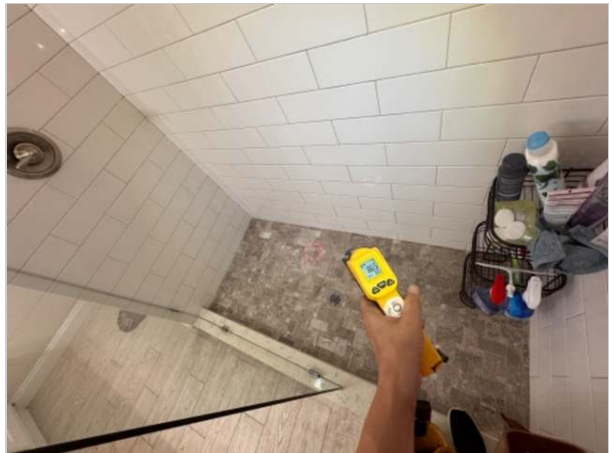






BATHROOMS AND MISC PLUMBING

Bathrooms were inspected using various techniques to help identify any areas of leakage or damage. Please note that bathtubs and showers are tested without the weight of a person in the enclosure. We attempt to identify areas of potential leakage, but some problem areas may not be visible without the weight of a person in the enclosure, ie, a person taking a shower or bath. Any latent deficiencies noted under these conditions once the structure is occupied should be sealed to prevent water intrusion and damage.







WATER HEATER TANKLESS

There was an on demand 3.17 gallon per minute capacity, electric water heater located in the laundry. The water heater was manufactured by Rheem, Serial Number G202106520. Information on the water heater indicated that it was manufactured 3 years ago. A temperature and pressure relief valve (T & P) was not present. Because of the lime build-up typical of T & P valves, we do not test them. An overflow drip leg pipe was not present.

NOTE: Tankless "On Demand Water Heaters" are designed to come on when there is a demand for hot water at any of the plumbing water fixtures in the home. When the hot water faucet is turned on, then the tankless water heater starts to heat the water. The water in the tank must be pushed out before you will get hot water at the faucet.

The on demand type water heater was functional

NOTE: Codes change for proper water heater installation. As a reminder, we do not inspect for current code compliance but for safety. When a water heater is replaced by a licensed technician it is necessary for him to bring the setup up to the then-current code. This may include altering the configuration of the water heater, including flue configuration.



The water meter was located in the front yard of the home. The main water shutoff valve for the home was located right side of the home.

Water shutoff valves are visually inspected only. No attempt is made to operate the main or any other water supply shutoff valves during the inspection. These valves are infrequently used and could leak after being operated. The only exception to this policy is made when the main water supply valve is off upon arrival at the inspection. Since it is the buyers right to have all utilities operable for the home inspection, we will attempt to turn the main water valve on for the

inspection (Not at the meter as this could result in a fine if tampered with) The HomeTeam is not responsible for leaks caused by operating the valve.



WINDOWS, AND DOORS

A representative number of windows that were accessible at time of inspection were operated and found to be functional. The primary windows were constructed of aluminum, a single hung style, with double pane glass. The window casing on the interior and exterior of the home should have adequate caulking. Periodic caulk maintenance is recommended around the interior and exterior window frames to prevent moisture intrusion. There did appear to have adequate caulking around the window frames. Possible problem areas may not be identified if the windows or doors have been recently painted, not visible due to curtains or blinds. **The condition behind the wall or window frame is unknown.**

The exterior door locks should be changed or re-keyed upon occupancy. All accessible exterior doors were operated and found to be functional. Exterior doors weather stripping should be routinely monitored and replaced when needed, There was adequate weather stripping around the exterior doors at time of inspection.. Exterior doors and frames should be routinely checked for wood decay, and metal doors checked for rust. There were signs of wood decay and rust seen around the exterior doors or frames. Wood and Metal doors should be routinely painted and sealed to prevent wood decay and rust, wood decay should be replaced as needed.

There were no material defects observed in the visible portions of the windows and doors.

Note Blinds, curtains, shutters and window treatments and there condition is not part of a home inspection.





The interior wall and ceiling surfaces were finished with drywall. Possible problem areas inside the wall cavities may not be identified due to concealment, or may not be identified if the interior walls and ceiling surfaces have been recently painted. The floor covering was found to be in good condition. There were no material defects observed in the visible portions of the interior ceilings, walls and flooring. There was moisture stain that was found to be dry.





A stain was present on the ceiling of the structure. The stain appeared to be dry at the time of the inspection and should be monitored for any future moisture.





FLOOR PLAN

The living area consisted of a kitchen, a living room, a dining area, laundry room, 2 bedrooms and 2 bathrooms. The HomeTeam inspects for evidence of structural failure and safety concerns only. **The cosmetic condition of the paint, wall covering, carpeting, etc., are not addressed.** There were no material defects observed in the living areas.





cabinet condition

The kitchen and bathrooms cabinets were found to be not fully visible due to stored items. The visible portions of the cabinets and counter tops were in good condition.

In keeping with the State of Florida Standards of Practice for Home Inspectors, **HomeTeam uses the normal controls to verify the primary function of connected appliances. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components.**

The appliances were operated to check basic operational function only. No consideration is given regarding the age or components that may be worn or otherwise affected by wear and tear or use. The kitchen contained the following appliances:







oven range

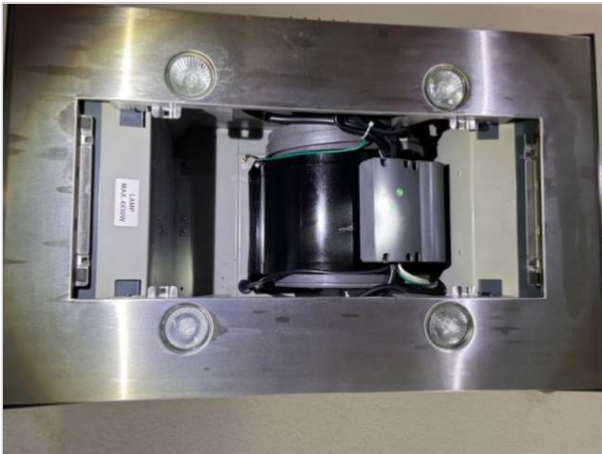
The Frigidaire electric oven/range was inspected and did activate at the time of the inspection. **The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.**





range hood

The ceiling exhaust fan was activated and did appear to be functional.. **The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.**





refrigerator

The Frigidaire refrigerator was inspected and was functional. **The temperature setting and ice maker, if present, and performance testing of the refrigerator are not within the scope of the inspection.**



dishwasher

The General Electric dishwasher did activate. **Performance testing, accessories, the condition of the interior and the operation of the timer and controls are not within the scope of our inspection.**



WASHER/DRYER

There was a LG washer Could not be tested due to load sensing and LG dryer in the home which was briefly activated and appeared to be functional. **The operation of the washer and dryer without clothes may not give an accurate evaluation of the equipment. The connections to the water supply, washer discharge piping and dryer venting may not have been observed as our inspectors are not allowed to move appliances. Performance testing of the washer/dryer is not within the scope of our inspection.**

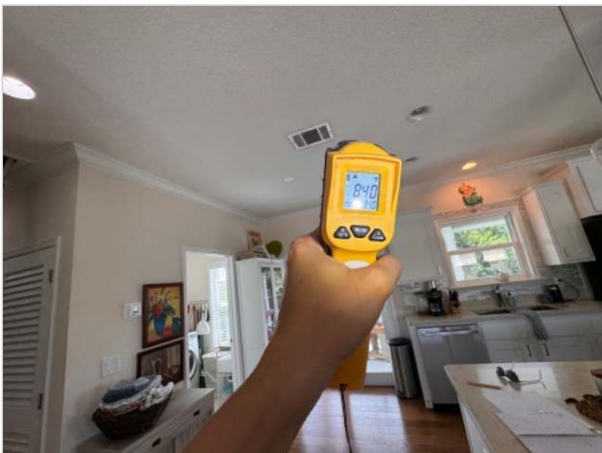




HEATING AND AIR CONDITIONING UNIT

The electric outdoor condensing unit was an American Standard, Serial Number 15065JN73F. The unit is located on the left side of the home. This unit is approximately nine years old. There was a disconnect present. The refrigerant line was insulated.

The air handler was an American Standard, Serial Number 1621SLH2V. The unit is located in the hallway closet. This unit is approximately eight years old. The condensate lines appeared to be properly installed. Temperature differentials (TD) were determined by calculating the difference in the temperature at the warm air return against each cold air supply vents. The TDs were: 17 F. The ideal range is from 13* to 20* F. Periodic preventive maintenance is recommended to keep this unit in good working condition. The heating and cooling system was found to be functional.





The insulation on the exterior air conditioning line set is damaged. This could affect the efficiency of the system and should be replaced.



DUCT WORK, FILTERS, AND THERMOSTAT

There will be normal temperature variations from room to room and level to level, most noticeable between levels. Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers. Inspection of air and duct supply system for adequacy, efficiency, capacity or uniformity of the conditioned air to the various parts of the structure is beyond the scope of the home inspection. The condition inside the ducts is unknown as it can not be seen, there may be hidden defects that may be found when a upgrade or repair is done. The visible ducts where found to be in serviceable condition.

The disposable/washable filter should be replaced/cleaned on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection. The disposable filter was found to be clean The filter(s) was installed at the airhandler.

The coils were seen and appear to be clean The return and supply vents appear to be clean Routine maintenance and cleaning of the HVAC coils and duct work will help improve air quality in the home.

The control for the heating and air conditioning system was a 24 volt digital thermostat located on the kitchen wall of the home. The thermostat was manufactured by Honeywell and was found to be in working order.





POOL INSPECTION

HomeTeam inspected the pool. The pool inspection is based solely on the conditions present at the time of the inspection. Latent or concealed defects are not within the scope of the inspection. Throughout this report, the terms "right" and "left" are used to describe the pool as viewed facing the pool from the street. Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute visually observable defects as defined in the Home Inspection Agreement. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items. Compliance with

national codes, local codes or the insurability of the pool is not addressed. **Leaks could occur or could be occurring below the surface of the pool shell that could not be seen.** Leak testing requires specialized equipment and is beyond the the scope of this inspection.

The in-ground pool was constructed of gunite. The water level around the perimeter of the pool was uniform. There was no light installed in the pool .. The coping around the top of the pool was in good condition. The deck surrounding the pool was constructed of concrete. There were some normal hairline cracks in the pool decking. There were no material defects observed in the pool.



The Century pool circulating pump was operational at the time of the inspection. This pool did not have a built in pop up pool sweep. . .



The Jandy pool cartridge filter was operational at the time of the inspection. The efficiency of the filtration system is not within the scope of the inspection. All pool filters require cleaning and routine maintenance in order to properly clean the water. Consult with the manufacturers documentation for maintenance procedures.





The Thermeau pool electric heater was NOT ABLE TO BE ACTIVATED at the time of the inspection. No panels were opened on the unit. A complete inspection and service by a qualified technician is recommended before closing and use. No panels are opened. Performance testing of such equipment is not within the scope of the home inspection.





REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

Intermittent or concealed problems: Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No clues: These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We always miss some minor things: Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$1000 problems. These are the things that affect people's decisions to purchase.

Contractor's advice: A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

"Last man in" theory: While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most recent advice is best: There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

Why didn't we see it?: Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem." There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

Not insurance: In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

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SUMMARY:

Read the full body of the inspection report;

This summary provides a quick overview of the results of the inspection performed on 3/26/2024 at 123 Anywhere Street, Anytown, USA 1111.

The following is a summary of our findings. Be sure to read the full body of the inspection report; it contains much more detail about the property. Any additional evaluations we've recommended must be performed prior to the conclusion of the inspection contingency period.

NOTE: This summary is presented to assist in the presentation of information and should never be solely relied upon. The report should be read and understood in its entirety, and the inclusion or omission of certain items in the summary does not indicate any relative importance or special significance. It is important for clients to work closely with their real estate professional in developing any repair requests. Please contact HomeTeam for clarification of any items in this report.

Safety Concerns

- Ground rod is sticking up out of the ground. It is recommended that this condition be further evaluated by a licensed electrical contractor for repair.



Electrical

- There was corrosion on the electrical service entrance box. Maintenance would be recommended in order to access the main breaker with ease whenever needed.



HVAC

- The insulation on the exterior air conditioning line set is damaged.



Interior, Windows, Doors

- **A stain was present on the ceiling of the structure.** The stain appeared to be dry at the time of the inspection and should be monitored for any future moisture.

