



HomeTeam[®]

INSPECTION SERVICE

HOME INSPECTION REPORT



Home. Safe. Home.



WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

Thank you for allowing us the opportunity to serve you.



FAST



TRUSTED



ACCURATE

SUMMARY:

The purpose of this summary is to provide a 'quick view' of the results of the home inspection and is not intended to be comprehensive. Please be sure to read the entire inspection report as it contains much more detail about the property and its systems and components. Any recommendations in the inspection report for additional evaluation, should you chose to have that done, should be completed prior to the expiration of the home inspection contingency period listed in your contract with the seller.

Further Evaluation Recommended

- There were abandoned wires observed at the rear exterior of the home and in the utility room. These should be further reviewed by a licensed electrician.
- Plastic was covering some of the registers in the home; this should be reviewed by a licensed HVAC contractor.
- Insulation was observed in the combustion air duct; this should be further reviewed by a licensed HVAC contractor.

Major Defects

- There was significant cracking and settling observed at the driveway. The driveway should be further reviewed and repaired by a qualified concrete contractor.

Minor Defects

- The right garage door did not operate properly and it was in need of adjustment and/or repair.
- The base weather strips at the garage doors were damaged.
- Air gaps were observed at the rear exterior "man" door and the weather strip was damaged at this door.
- At least one of the shingles at the right rear of the roof has slipped and it should be repaired by a qualified roofer.
- The tub stopper in the basement bathroom was not functional. The sink stopper in the second level hall bathroom did not stay closed and the tub stopper was not attached in this bathroom.
- One interior door was damaged.
- There were no door stops or the door stops were damaged at many of the doors. Door stops should be installed and/or repaired to help prevent possible blemishing of the walls that could be caused by door handles.
- Sometimes the failure to keep walls sealed can cause deterioration and moisture damage to the interior walls which is not always visible at the time of the inspection. Some of the grout and/or caulk was cracked/missing from around the tub and shower surrounds in the home. These areas should be re-grouted and/or re-caulked to prevent moisture penetration.
- Door hardware was missing at the basement bathroom doors. The basement office doors interfered with each other when closing.
- The drawer to the left of the cook top did not operate smoothly.
- Water was observed to be dripping in the half bathroom toilet indicating that the flapper may be in need of replacement.
- The ceiling light in the basement family room was not secure; this should be corrected.

Other Observations or Recommendations

- Trees were observed to be growing against the home; the trees should be monitored and/or trimmed to prevent possible damage to the home.
- The downspouts should be extended further away from the home to direct water away from the home.
- Some of the heat tape at the back of the home was not installed in the gutter.
- There was some evidence of pest infiltration; if this is a concern, this should be further reviewed by a qualified pest professional.
- There were wood shims observed at the base of the sink in the basement bathroom.
- There was not a handrail at the basement stairwell; a handrail should be installed for safety reasons.
- Some of the wood flooring in the kitchen was warped.
- Window screens were missing in the basement, the first level family room and the living room. However, screens were being stored in the area of the basement behind the TV.

SAMPLE INSPECTION

Throughout this report, the terms left and right are used to describe the exterior of the home, the rooms and components of the home as viewed from the front. The terms left and right are also sometimes used to describe the interior components of the home as viewed from the interior of the home when facing the component.

A system or component has a major visual defect if it is either unsafe or not functioning and cannot be replaced or rendered safe or functional for less than \$1,000.

The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., is typically not addressed. All conditions are reported as they existed at the time of the inspection.

Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute major, visually observable defects. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items.

The photographs included in this report are representative only and they should not be construed as a comprehensive pictorial representation of the components and/or defects in the home.

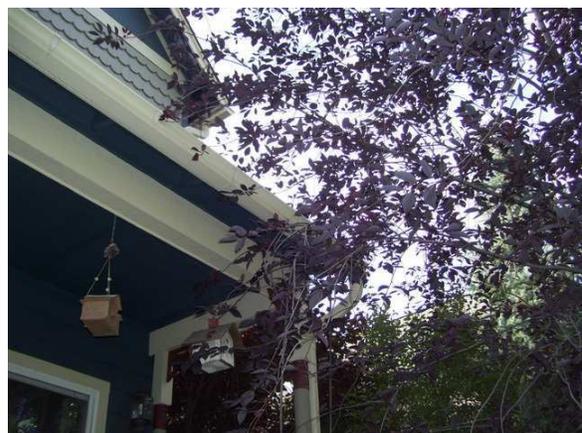
We recognize that the inspected home is part of a homeowner's association (HOA). Some of the items mentioned in this report may be common elements and they may be the responsibility of the HOA.

The approximate temperature at the time of the inspection was 40 to 50 degrees Fahrenheit, and the weather was mostly sunny. The utilities were on at the time of the inspection, and the home was vacant. The age of the home, as reported by the county records, was said to be 13 years old.

EXTERIOR

The inspected home consisted of a two story (with basement) wood framed manufactured structure with composition board siding. There were no major visual defects on the visible portions of the siding.

- Trees were observed to be growing against the home; the trees should be monitored and/or trimmed to prevent possible damage to the home.



GRADE & DRAINAGE

The home was situated on a lightly sloped lot. The general grade of the property appeared to be adequate to direct rainwater away from the home.

WALKWAY & PORCH

There was a concrete walkway leading to a wood porch in the front of the home. There was also a wood porch at the back of the home. There were no major visual defects observed in the walkway or the porches.

DRIVEWAY

There was a concrete driveway in the front of the home, which led to the garage. There did appear to be major visual defects observed in the driveway (see below).

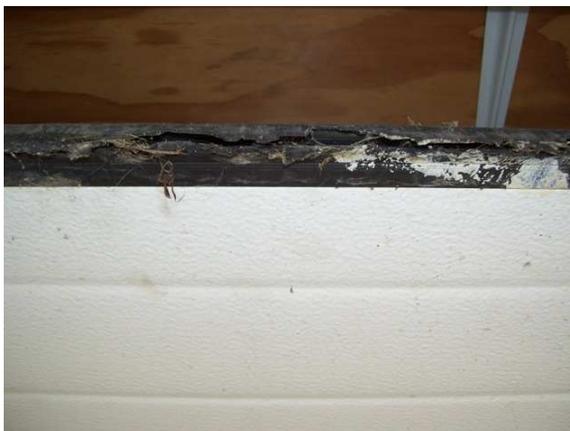
- There was significant cracking and settling observed at the driveway. The driveway should be further reviewed and repaired by a qualified concrete contractor.



GARAGE

The attached garage was designed for two cars with access provided by two overhead-style doors. The Overhead Door brand electric garage door openers were tested and found to be functional. However, the right garage door did not operate properly and it was in need of adjustment and/or repair. The automatic safety reverse on the left garage door opener was also tested and was functional. The concrete garage floor was in good condition. There were no major visual defects observed in the garage or the door mechanisms. Minor defects were observed; they are listed below.

- The base weather strips at the garage doors were damaged.



- Air gaps were observed at the rear exterior "man" door and the weather strip was damaged at this door.



- There was some evidence of pest infiltration; if this is a concern, this should be further reviewed by a qualified pest professional.



ROOF STRUCTURE

The roof was a gable, valley and shed design covered with asphalt/fiberglass shingles. Observation of the roof surfaces and flashing was performed from the ground level with the aid of binoculars and from the roof level. There was one layer of shingles on the roof at the time of the inspection.



There was light curling and moderate surface wear observed on the roof shingles at the time of the inspection. These conditions indicate the roof shingles were in the middle stages of their useful life. This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal should be kept well painted with a paint specially formulated for the use. There were no major visual defects detected on the exterior of the roof.

- At least one of the shingles at the right rear of the roof has slipped and it should be repaired by a qualified roofer.



ROOF DRAINAGE

The roof drainage system consisted of aluminum gutters and downspouts which appeared to be functional but in need of being cleaned at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure. There were no major visual defects observed on the visible portions of the gutters or downspouts.

- The downspouts should be extended further away from the home to direct water away from the home.



- Some of the heat tape at the back of the home was not installed in the gutter.



FOUNDATION

The foundation was constructed of poured concrete. The interior foundation walls were finished and they could not be fully inspected. A single inspection cannot determine whether foundation movement has ceased. Any cracks should be monitored regularly. There were no major visual defects observed on the visible portions of the foundation.

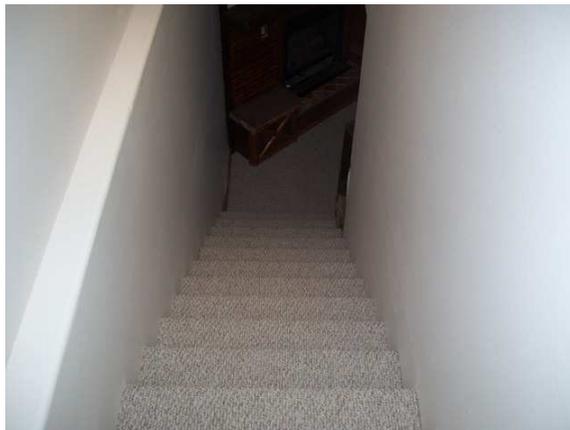
BASEMENT SLAB

The full slab was not visible at the time of the inspection because of carpet or other floor coverings. There were no indications of moisture present, and no significant heaving or settling could be detected in the slab. There were no major visual defects observed on the visible portions of the slab. Please note that the condition of any utilities within or under a slab, such as plumbing pipes, are not within the scope of the inspection.

BASEMENT

The basement was mostly finished, and contained the following mechanical systems: furnace and water heater. Rooms included a family room, office, bathroom and utility room. The basement was dry at the time of the inspection. However, because the basement is below grade level, there exists a vulnerability to moisture penetration after heavy rains. There were no major visual defects observed in the basement.

- There was not a handrail at the basement stairwell; a handrail should be installed for safety reasons.



FLOOR STRUCTURE

The visible floor structure consisted of an OSB (oriented strand board) subfloor, supported by 11 7/8-inch TJI engineered wood joists spaced sixteen inches on center. There were no major visual defects observed in the visible portions of the floor structure.

PLUMBING

The visible water supply lines throughout the home were copper pipe. The water was supplied by a public water supply. The visible waste lines consisted of PVC and ABS plastic pipe. The home was connected to a public sewer system.

All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. Water pressure was tested at an exterior hose bib and found to be 50 to 60 pounds per square inch. There were no major visual defects observed in the visible portions of the plumbing system; minor defects are listed below.

- The tub stopper in the basement bathroom was not functional. The sink stopper in the second level hall bathroom did not stay closed and the tub stopper was not attached in this bathroom.



- There were wood shims observed at the base of the sink in the basement bathroom.



- Water was observed to be dripping in the half bathroom toilet indicating that the flapper may be in need of replacement.

NOTE: The under-floor drain lines and main sewer line are considered underground utilities and are specifically excluded from this visual home inspection. If there is a history of sewer backups, or other concerns with the sewer system draining properly, consideration should be given to having a licensed plumber scope the main sewer line (from home to city connect) to insure it is in good working condition.

WATER METER - SHUTOFF

The water meter was located in the basement. The main water shutoff valve for the home was located adjacent to the water service entry point in the basement (behind the TV).



GAS METER

The gas meter was located on the right exterior wall. Although no actual testing was performed to detect the presence of gas fumes, there was no noticeable odor of gas detected at the time of the inspection.

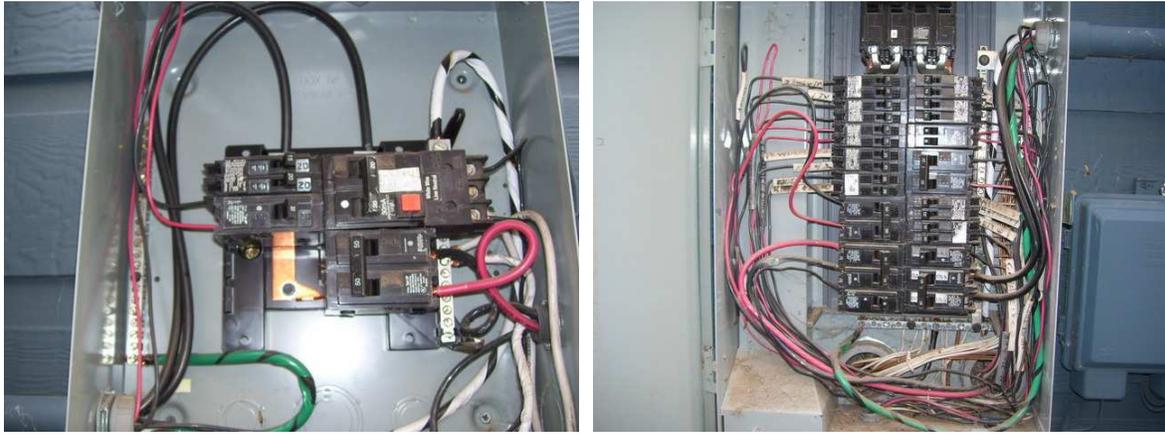
WATER HEATER

There was a 48 gallon capacity, natural gas water heater located in the utility room. The water heater was manufactured by Bradford White, model number M1XR504T6 and serial number WC9127700. Information on the water heater indicated that it was manufactured thirteen years ago. A temperature and pressure relief valve (T&P) was present on the water heater. Because of the lime build-up typical of T&P valves, we do not test them. An overflow leg was present. It did terminate close to the floor. The water heater was functional.

ELECTRIC SERVICE

The underground electric service wire entered the home on the left side wall. The electric meter was located on the exterior wall. The main service disconnect was rated for 200 amps.

The service wire entered a Siemens service panel, located on the exterior wall with a 200 amp and 120/240 volt rated capacity. There was also a Siemens sub panel located on the exterior wall.



The branch circuits within both panels were copper. These branch circuits and the circuit breakers to which they were attached appeared to be appropriately matched. The visible house wiring consisted primarily of the Romex type and appeared to be in good condition.

- There were abandoned wires observed at the rear exterior of the home and in the utility room. These should be further reviewed by a licensed electrician.



A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were inspected and were found to be functional. The grounding and polarity of receptacles were also tested. All tested receptacles were grounded and wired correctly. There were ground fault circuit interrupter (GFCI) protected circuits located on the exterior, garage, kitchen and bathrooms. The GFCI's were functional. All GFCI receptacles and GFCI circuit breakers should be tested monthly. For safety reasons, a non-functional GFCI should be replaced immediately.

- The over plate was missing from the light switch in the first level family room. The cover plate for the CATV receptacle in the front bedroom was cracked.



- The ceiling light in the basement family room was not secure; this should be corrected.



The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. There were no major visual defects observed in the electrical system.

SMOKE ALARMS

There were smoke alarms found in the home. For safety reasons, the smoke alarms should be tested upon occupancy. The batteries should be replaced with new ones when you move into the home, and tested on a monthly basis thereafter.

CARBON MONOXIDE ALARMS

As a matter of Colorado Law, dwelling units offered for sale on or after 07-01-09 that have a fuel fired heater or appliance, a fireplace, or an attached garage shall have carbon monoxide (CO) alarms installed within fifteen feet of the entrance to each room lawfully used for sleeping purposes. CO alarms were observed in the home and one was installed within fifteen feet of the entrances to the sleeping rooms.

WINDOWS

The primary windows were constructed of vinyl, single hung style, with double pane glass. A representative number of accessible windows were tested for proper operation. There were no major visual defects observed in the windows.

- Window screens were missing in the basement, the first level family room and the living room. However, screens were being stored in the area of the basement behind the TV.



- Changing conditions such as temperature, humidity, lighting as well as external water spots and soiling can limit the ability to visually review windows for broken seals. Therefore, conditions indicating a broken or compromised seal may not be apparent or visible at the time of the inspection. A broken seal causes a loss of vacuum between the panes and results in the loss of insulation value.

DOORS

All exterior doors were operated and found to be functional. For security reasons, the exterior door locks should be changed or rekeyed upon occupancy. There were no major defects observed in the doors. There were, however, some minor defects observed; they are listed below.

- One interior door was damaged.



- There were no door stops or the door stops were damaged at many of the doors. Door stops should be installed and/or repaired to help prevent possible blemishing of the walls that could be caused by door handles.



- Door hardware was missing at the basement bathroom doors. The basement office doors interfered with each other when closing.

WALLS AND CEILINGS

The interior wall and ceiling surfaces were finished with drywall. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. There were no major visual defects observed in the interior walls or ceilings.

- Sometimes the failure to keep walls sealed can cause deterioration and moisture damage to the interior walls which is not always visible at the time of the inspection. Some of the grout and/or caulk was cracked/missing from around the tub and shower surrounds in the home. These areas should be re-grouted and/or re-caulked to prevent moisture penetration.



FIRST LEVEL

The first level consisted of a great room, kitchen, family room and a half bathroom. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed. There were no major visual defects observed on the first level.

- Some of the wood flooring in the kitchen was warped.



KITCHEN CABINETS

The kitchen counter tops were in good condition. The kitchen cabinet doors and drawers were inspected and did appear to be functional.

- The drawer to the left of the cook top did not operate smoothly.

APPLIANCES

The appliances were turned on to check operational function only. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components. The kitchen contained the following appliances:

The Frigidaire electric oven was inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

- The seal at the oven door was damaged.



The Fisher and Paykel natural gas cooktop was inspected and did appear to be functional.

The Amana range hood and microwave combination was inspected and did appear to be functional. The exhaust capacity is not within the scope of this inspection.

The Frigidaire dishwasher was observed through a complete cycle and did appear to be functional when set on the "wash" and "drain" cycle.

The In-Sink-Erator disposal was inspected and did appear to be functional. The efficiency rating is not within the scope of the inspection.

SECOND LEVEL

The second level of the home consisted of four bedrooms and three bathrooms. There were no major visual defects observed on the second level.

- There were no thresholds observed between the carpeting and the floor tiles.



GAS FIREPLACE

Natural gas fireplaces were located in the great room and the lower level family room. The fireplaces were operated at the time of the inspection and were functional.

ATTIC STRUCTURE

The attic was accessed through a scuttle in the front bedroom closet. The attic above the living space was insulated with batted insulation, approximately 12-inches in depth. Ventilation throughout the attic was provided by gable, soffit and ridge vents. The roof structure consisted of two-inch by four-inch wood trusses spaced 24 inches on center and OSB (oriented strand board) sheathing.



Because of the configuration of the framing and absence of a catwalk, which limited access, it was not possible to inspect all areas of the attic. There was no moisture visible in the attic space. The absence of visible indications of moisture is not necessarily conclusive evidence that the roof is free from leaks. The only way to be sure a roof does not leak is to inspect the underside of the roof during a heavy rain. There were no major visual defects observed in the attic or roof structure.

FURNACE

The home was heated by a Payne natural gas forced air furnace, model number PG8UAA048111 and serial number 2100A61850, which is thirteen years old. The unit was located in the utility room of the home.

- Insulation was observed in the combustion air duct; this should be further reviewed by a licensed HVAC contractor.



The heating system was operated and was found to be functional.

NOTE: Without removing the burners to gain complete access, and with the limited viewing area of the heat exchanger, a complete inspection is not possible

AIR CONDITIONER

The electric outdoor air conditioner condensing unit was a Payne, Model Number PA10JA048-A and Serial Number 2300E02896. The condenser is located on the left side of the home. This unit is approximately thirteen years old.

- The air conditioner was not operated. When outdoor temperatures have been below 60 degrees Fahrenheit within the past 24 hours, extended operation of the cooling system could damage the compressor

Annual cleaning and servicing of the heating and cooling equipment is essential for safe and efficient performance. Periodic preventive maintenance by a Licensed HVAC Technician is recommended to keep these units in good working condition. This will maximize the system's useful life.

DUCTWORK

The supply and return air ductwork in the home appeared to be adequate. However, there will be normal temperature variations from room to room and level to level, most noticeable between levels. Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers.

- Plastic was covering some of the registers in the home; this should be reviewed by a licensed HVAC contractor.



THERMOSTAT

The control for the heating and air conditioning system was a 24-volt thermostat located on the main level great room wall. The thermostat was manufactured by Honeywell and was found to be in working order.

FURNACE FILTER

The disposable filter should be checked and replaced on a regular basis to maintain the efficiency of the system. The efficiency rating of the filter is not within the scope of this inspection.