

# HomeTeam<sup>®</sup>

## INSPECTION SERVICE

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### HOME INSPECTION REPORT



**Home. Safe. Home.**



## WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

## WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

## OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

## WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

## WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

**Thank you for allowing us the opportunity to serve you.**



FAST



TRUSTED



ACCURATE

File Number: **0000**  
Address of Inspection: **123 Sample Drive**



20900 Kline Drive Clinton Township, MI 48038  
(586) 783-9957  
<https://hometeam-warrenmichigan.com>  
[sbrownborden@hometeam.com](mailto:sbrownborden@hometeam.com)

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# HomeTeam<sup>®</sup>

## INSPECTION SERVICE

Monday, March 12, 2018

**Bill Sample**  
**123 Sample Drive**  
**Anytown MI, 55555**



**Dear Bill Sample,**

On 3/12/2018 HomeTeam Inspection Service made a visual inspection of the property referenced above. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Home Inspection Agreement. Although maintenance items may have been addressed verbally at the time of the inspection, they may not be included in the enclosed report.

I trust the enclosed information is helpful and I hope you enjoy every aspect of your new home. If I can be of any assistance, please feel free to call me at the above telephone number.

*Sincerely,*

**Scott Brown-Borden**  
**HomeTeam Inspection Service**

## PREFACE:

This report is intended for the sole, confidential, and exclusive use and benefit of the Client(s) under a written HomeTeam Inspection Agreement, and is performed in compliance with the *Standards of Practice* and *Code of Ethics* of the *American Society of Home Inspectors*. ([HomeInspector.org/Standards](http://HomeInspector.org/Standards)) The inspection and report will include those systems and components outlined within those Standards, unless otherwise noted in the Inspection Agreement

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection. We will not render an opinion as to the condition of any systems or components of the structure that are concealed by walls, floors, drywall, paneling, suspended ceiling tiles, insulation, carpeting, furniture or any other items stored in or on the property at the time of the inspection.

The results of this home inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection. No warranty or guaranty is expressed or implied.

If the person conducting your home inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts, you may be advised to seek professional opinion as to any defects or concerns mentioned in the report. If the age, condition or operation of any system, structure or component of the property is of a concern to you, it is recommended that a specialist in the respective field be consulted for a more technically exhaustive evaluation.

This home inspection report is not to be construed as an appraisal and may not be used as such for any purpose.

This inspection report includes a description of any **major visual defects** (\*) noted during the inspection, along with any recommendation that certain experts be retained to determine the extent of the defects and any corrective action that should be taken. Any major visual defect that poses an unreasonable risk to people on the property will be conspicuously defined as such. Any recommendations made to consult with other specialists for further evaluation as a result of our findings should be complete prior to the conclusion of the inspection contingency period. The Client warrants they will read the entire Inspection Report when received and shall promptly contact HomeTeam regarding any questions or concerns the Client may have regarding the inspection or the Inspection Report.

\* **Major Visual Defect:** A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to the people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a major visual defect.

The majority of home inspections are performed on pre-existing structures. The age of these structures vary from just a few years to over 99 years old. Building techniques have changed dramatically over the years. These changes are what bring character to neighborhoods, and affect a buyer's decision to purchase one home over another. Therefore, the age and method of construction will affect the individual character of a home.

We will not determine the cause of any condition or deficiency, determine future conditions that may occur including the failure of systems and components or consequential damage or components or determine the operating costs of systems or components.

It is not uncommon to observe cracks or for cracks to occur in concrete slabs or exterior and interior walls. Cracks may be caused by curing of building materials, temperature variations and soil movement such as: settlement, uneven moisture content in the soil, shock waves, vibrations, etc. While cracks may not necessarily affect the structural integrity of a building, cracks should be monitored so that appropriate maintenance can be performed if movement continues at an abnormal rate. Proper foundation maintenance is key to the prevention of initial cracks or cracks enlarging. This includes, but not limited to proper watering, foundation drainage and removal of vegetation growth near the foundation.

## GENERAL DESCRIPTION

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street.

A system or component has a major visual defect if it is either unsafe or not functioning and cannot be replaced or rendered safe or functional for less than \$1,000. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed.

Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute major, visually observable defects. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items.

All conditions are reported as they existed at the time of the inspection.

**Please review the contract for items that are not inspected by The HomeTeam.**

Portions or all of the roof, walkways, driveway, landscaping and patio's or decks were covered with snow. The snow cover limited our inspection.

The approximate temperature at the time of the inspection was 30 to 35 degrees Fahrenheit, and the weather was snowing. The buyer and their agent were present at the time of the inspection. The utilities were on at the time of the inspection. The home, as reported by the Zillow was said to be built in 2007.

The inspected property consisted of a townhouse wood-framed structure with brick and composite siding that was occupied at the time of the inspection. There were no major visual defects on the visible portions of the siding.

The roof drainage system consisted of aluminum gutters and downspouts which appeared to be functional at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure. There were no major visual defects observed on the visible portions of the gutters or downspouts.

We could not determine where the gutters drained after entering the ground.

## LOT AND GRADE

The home was situated on a level lot. The general grade around the home appeared to be inadequate to direct rain water away from the foundation.

By improving the exterior grade so water flows away from the foundation will take pressure off the walls. Added pressure can cause leaks, cracks and foundation movement.

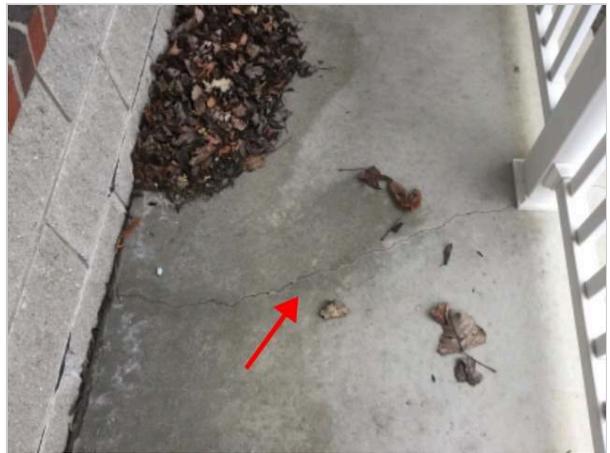
## WALKWAY AND PORCHES

There was a concrete walkway leading to a concrete porch in the front of the home. Surface defects in walkways develop and progress with age and are considered normal as long as they do not create a safety hazard. There were no major visual defects observed in the walkway or the porch.

The walkway was partially covered by snow and not fully visible for inspection.



Any surface cracks should be sealed so the winter freeze does not start a new crack from forming.



## DRIVEWAY

There was an asphalt driveway in the front and back of the home which led to the attached garage. There were many cracks noted on the driveway. Surface defects in driveways develop and progress with age and are considered normal as long as they do not create a safety hazard. There were no major visual defects observed in the driveway.

Caulking or sealing of cracks and joints will keep snow and ice from freezing in the open joints and prevent further damage.



## **GARAGE**

The attached garage was designed for two cars with access provided by one overhead-style door. The fire separation walls and ceiling were inspected and did appear to be adequate. The concrete garage floor was in fair condition. There were no major visual defects observed in the garage.

The garage was cluttered with many stored items and/or shelves at the time of inspection, therefore several areas were unable to be inspected.

The Genie brand electric garage door opener was tested and found to be functional. The automatic safety reverse on the garage door was tested and found to be functional. The functionality of remote transmitters, keyless entry or other opening devices is not tested during the home inspection.

The garage door downward force safety reverse system is not operable. This means that the door does not stop and reverse when resistance is placed at the base of the door. Consult with a garage door service for repair.

## **ROOF**

This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use.

The roof was a gable and valley design covered with asphalt/fiberglass shingles. Observation of the roof surfaces, flashing, skylights and penetrations through the roof was performed from the ground level with the aid of binoculars. 50 percent of the roof was visible at the time of the inspection.

The age of the roof covering, as reported by the buyer, was approximately ten to fifteen years. There was one layer of shingles on the roof at the time of the inspection. There was light curling and moderate surface wear observed on the roof shingles at the time of the inspection. These conditions indicate the roof shingles were near the middle of their useful life.

The aluminum soffit and fascia was inspected and was in fair condition. There were no major visual defects detected on the exterior of the roof.

There was one flue chase. Observation of the chase exterior was made from the ground. There were no major visual defects observed on the exterior.

## **ATTIC STRUCTURE**

As with all aspects of the home inspection, attic and roof inspections are limited in scope to the visible and readily accessible areas. Many areas of the roof are not visible from the attic especially near the base, where the largest volume of water drains. The presence of or active status of roof leaks cannot be determined unless the conditions which allow leaks to occur are present at the time of the inspection. Please be aware that rain alone is not always a condition that causes a leak to reveal itself. The conditions that cause leaks to occur can often involve wind direction, the length of time it rains, etc. The inspection does not offer or imply an opinion or warranty as to the past, present or future possibility of roof, skylight, flashing or vent leaks.

The attic was accessed through a scuttle in the laundry/utility room.

The attic above the living space was insulated with batted and loose fill insulation, approximately thirteen -inches in depth.

Ventilation throughout the attic was provided by soffit and ridge vents. The attic ventilation appeared to be adequate.

The roof structure consisted of two-inch by four-inch wood trusses spaced 24 inches on center and OSB (waferboard) sheathing.

There was no moisture visible in the attic space.

There were no major visual defects observed in the attic or roof structure.



## FOUNDATION

The foundation was constructed of a slab on grade. A single inspection cannot determine whether movement of a foundation has ceased. Any cracks should be monitored regularly. There were no major visual defects observed on the visible portions of the foundation.

The full slab was not visible at the time of the inspection because of carpet or other floor coverings. There were no indications of moisture present. There were no major visual defects observed on the visible portions of the slab. Please note that the condition of any utilities within or under a slab-on-grade, such as plumbing or ductwork, are not within the scope of the inspection.

## PLUMBING

The visible water supply lines throughout the home were copper and PEX pipe. The water was supplied by a public

water supply. Water valves are not tested as part of the home inspection. Water valves that have not been operated for an extended period of time often leak after being operated. We would not be able to repair a leaking valve during the home inspection.

The visible waste lines consisted of PVC pipe. The functional drainage of the drain waste lines appeared to be adequate at the time of the inspection. The home was connected to a public sewer system. The under-floor drain lines are considered underground utilities and are specifically excluded from the inspection. The lines are not visible or accessible and their condition cannot be verified during a visual home inspection. Simply running water into floor drains will not verify the condition of the waste line infrastructure under the home. Consult with a qualified plumber for a camera inspection of the sewer laterals if there is any concern as to the condition of the waste lines under the home.

All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. Water pressure was tested at a faucet and found to be 50 to 60 pounds per square inch. This report is not intended to be an exhaustive list of minor plumbing issues. Concealed, latent or intermittent plumbing issues may not be apparent during the testing period. There were no major visual defects observed in the visible portions of the plumbing system.

## **GAS METER**

The gas meter was located on the left exterior wall. The main gas valve is usually located at the gas meter and requires a wrench to operate. There was no noticeable odor of gas detected at the time of the inspection.



Main gas shutoff

## **WATER HEATER**

There was a 50 gallon capacity, natural gas water heater located in the laundry / utility room. The water heater was manufactured by Bradford White, information on the water heater indicated that it was manufactured in 2007. The water heater was functional.

This water heater has limited life remaining.

## **ELECTRIC SERVICE**

The underground electric service wire entered the home on the right side wall. The electric meter was located on the exterior wall. The service entrance cable consisted of stranded aluminum rated for 100 amps.

After moving in you, should ask the HOA which electrical meter and main disconnect is for your unit. They currently are not labeled.



The service wire entered a Cutler Hammer service panel, located on the garage wall with a 100 amp and 120/240 volt rated capacity. The main service disconnect switch was located adjacent to the service cable entry point. The branch circuits within the panel were copper and aluminum in the 240 volt circuits. These branch circuits and the circuit breakers to which they were attached appeared to be appropriately matched. The internal components of the service panel, i.e. main lugs, bus bars, etc were in good condition.

The visible house wiring consisted primarily of the Romex type and appeared to be in good condition. An electric service grounding system was installed. Service grounding requirements have changed many times over the years. The grounding system for a 30-year-old electric service is different from that of a 10-year-old service. The inspection does not attempt to verify that the grounding system or any other part of the electric service complies with current codes.

A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were tested. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters (GFCI), if present, were also tested. The installation of GFCI protected circuits and/or outlets located within six feet of water, on all kitchen counters, in unfinished basement areas, garage and the exterior of the home is a commonly accepted practice and required by many municipalities. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits in the home. The present and tested GFCIs were tested and found to be functional.

The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. There were no major visual defects observed in the electrical system.

## **SMOKE ALARMS**

There were smoke alarms found in the house. Property maintenance codes vary from area to area. Some municipalities require smoke alarms in every bedroom, while others only require them on each floor. Check with the local code enforcement officer for the requirements in your area. For safety reasons, the smoke alarms should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter.

The HomeTeam recommends installing a carbon monoxide detector as an additional safety device. The detector will alert the occupants of the home to the presence of dangerous carbon monoxide caused by a malfunctioning gas appliance.

## **WINDOWS, DOORS, WALLS AND CEILINGS**

A representative number of accessible windows and doors were operated and found to be functional. The primary windows were constructed of vinyl, double hung style, with insulated glass. All exterior doors were operated and found to be functional. The exterior door locks should be changed or rekeyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted. There were no major defects observed in the windows or doors.

The windows were very dirty. The dirt and debris make it very difficult to inspect for broken seals.

The interior wall and ceiling surfaces were finished with drywall. The interior wall and ceiling structure consisted of wood

framing. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. There were no major visual defects observed in the interior walls or ceilings.

## **LIVING AREA**

The HomeTeam inspected the first floor for evidence of structural failure and safety concerns only. The cosmetic conditions of the paint, wall covering, carpeting, window coverings, blinds, etc., are not addressed. There were no major visual defects observed on the first level.

## **KITCHEN**

The visible portions of the kitchen cabinets and counter tops were in serviceable condition. The appliances were turned on to check operational function only. No consideration is given regarding the age or components that may be worn or otherwise affected by wear and tear or use. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components. The kitchen contained the following appliances:

A few of the cabinet doors need adjustment to operate smoothly.

The Whirlpool electric free standing range was inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

The Whirlpool range hood and microwave combination was inspected and did appear to be functional. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.

The Whirlpool refrigerator was inspected and did appear to be functional. The temperature setting and ice maker, if present, are not within the scope of the inspection.

The Whirlpool dishwasher was tested and did appear to be functional.

The Badger disposal was inspected and did appear to be functional. The efficiency rating and chopping / grinding ability of the unit is not within the scope of the inspection.

## **DRYER CONNECTIONS AND VENT**

This note is supplied for informational purposes only, as many clients want to know the type of dryer connections available to them. A gas connection for a natural gas clothes dryer was installed in the laundry area. For safety reasons, no attempt was made to verify the presence of gas service at the visible gas dryer connection. Consult with a qualified contractor if the desired type of connection is not available.

A dryer vent was installed. The visible portion of the dryer vent was inspected and appeared to be functional and adequate for venting to the exterior of the home.

## **SECOND LEVEL**

The second level of the home consisted of two bedrooms, a master bath, and one full bath. There were no major visual defects observed on the second level. The second floor stairway was inspected and there were no major visual defects or visual safety concerns observed with the steps, stairways or handrails.

The master toilet may have a leak at the base.



## HEATING SYSTEM

The heating system was inspected by HomeTeam. Periodic preventive maintenance is recommended to keep this unit in good working condition. Annual maintenance of the heating and cooling equipment is essential for safe and efficient performance, which will maximize the system's useful life. The results of our visual and operational inspection of the heating system is described below:

The home was heated by a Lennox natural gas forced air furnace, which was manufactured ten to fifteen years ago. The unit was located in the laundry / utility room of the home.

Have the furnace cleaned.

A flow through type humidifier should be installed for winter. 40% humidity in a home during the heating season will save you 6% on your gas bill.

Examination of heating systems is mechanically limited since the unit cannot be dismantled to examine all of the interior components. Without removing the burners to gain complete access, and with the limited viewing area of the heat exchanger, a thorough inspection is not possible. The inspection does not include a heat-loss analysis, heating design or adequacy evaluation, energy efficiency assessment, installation compliance check, chimney flue inspection, draft test or buried fuel tank inspection.

Termination of HVAC condensate lines was not raised above the floor drain or drain inlet. The condensate lines were not trapped. HVAC condensate lines must be trapped and not in contact with wet drain inlets to prevent the possible migration of bacteria and mold into the air-handling system.

The PVC venting system was adequate to exhaust the spent gases to the exterior of the home and was in good condition. The heating system was found to be functional.

The furnace does not appear to have been recently serviced. It is recommended that the furnace be cleaned and serviced by a qualified contractor upon taking ownership of the property. The furnace should be serviced annually to maintain safe and efficient operation.

## AIR CONDITIONING

The electric outdoor air conditioner condensing unit was a Lennox, The unit is located in the back of the home. This unit was manufactured in 2007. Periodic preventive maintenance is recommended to keep this unit in good working condition. The forced air cooling system was not tested because the outside temperature was below sixty degrees within the last twenty four hours. The home inspection does not include a heat-gain analysis, cooling design or adequacy evaluation, energy efficiency assessment, installation compliance check or refrigerant evaluation.

The insulation on the exterior air conditioning line set is damaged. This could affect the efficiency of the system and should be replaced.



There will be normal temperature variations from room to room and level to level, most noticeable between levels. Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers. Inspection of air and duct supply system for adequacy, efficiency, capacity or uniformity of the conditioned air to the various parts of the structure is beyond the scope of the home inspection.

The disposable filter should be replaced on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection.

## REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

**Intermittent or concealed problems:** Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

**No clues:** These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

**We always miss some minor things:** Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$1000 problems. These are the things that affect people's decisions to purchase.

**Contractor's advice:** A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

**"Last man in" theory:** While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

**Most recent advice is best:** There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

**Why didn't we see it?:** Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem."  
There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

**Not insurance:** In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

*Reprinted from ASHI Reporter, By Permission of Alan Carson, Carson Dunlop & Assoc.*

## SUMMARY:

*This summary provides a simplified overview of the results of the Monday, March 12, 2018 inspection at 123 Sample Drive, Southfield, MI 48076. Be sure to read the full body of the inspection report; it contains much more detail about the property. Any additional evaluations we've recommended must be performed prior to the conclusion of the inspection contingency period.*

### Safety Concerns

- The garage door downward force safety reverse system is not operable. This means that the door does not stop and reverse when resistance is placed at the base of the door. Consult with a garage door service for repair.

### Minor Defects

- By improving the exterior grade so water flows away from the foundation will take pressure off the walls. Added pressure can cause leaks, cracks and foundation movement.
- Any surface cracks should be sealed so the winter freeze does not start a new crack from forming.
- Caulking or sealing of cracks and joints will keep snow and ice from freezing in the open joints and prevent further damage.
- The insulation on the exterior air conditioning line set is damaged.
- The master toilet may have a leak at the base.
- A few of the cabinet doors need adjustment to operate smoothly.
- A flow through type humidifier should be installed for winter. 40% humidity in a home during the heating season will save you 6% on your gas bill.

### Maintenance Items

- Have the furnace cleaned.

### Informational

- We could not determine where the gutters drained after entering the ground.
- After moving in you, should ask the HOA which electrical meter and main disconnect is for your unit. They currently are not labeled.