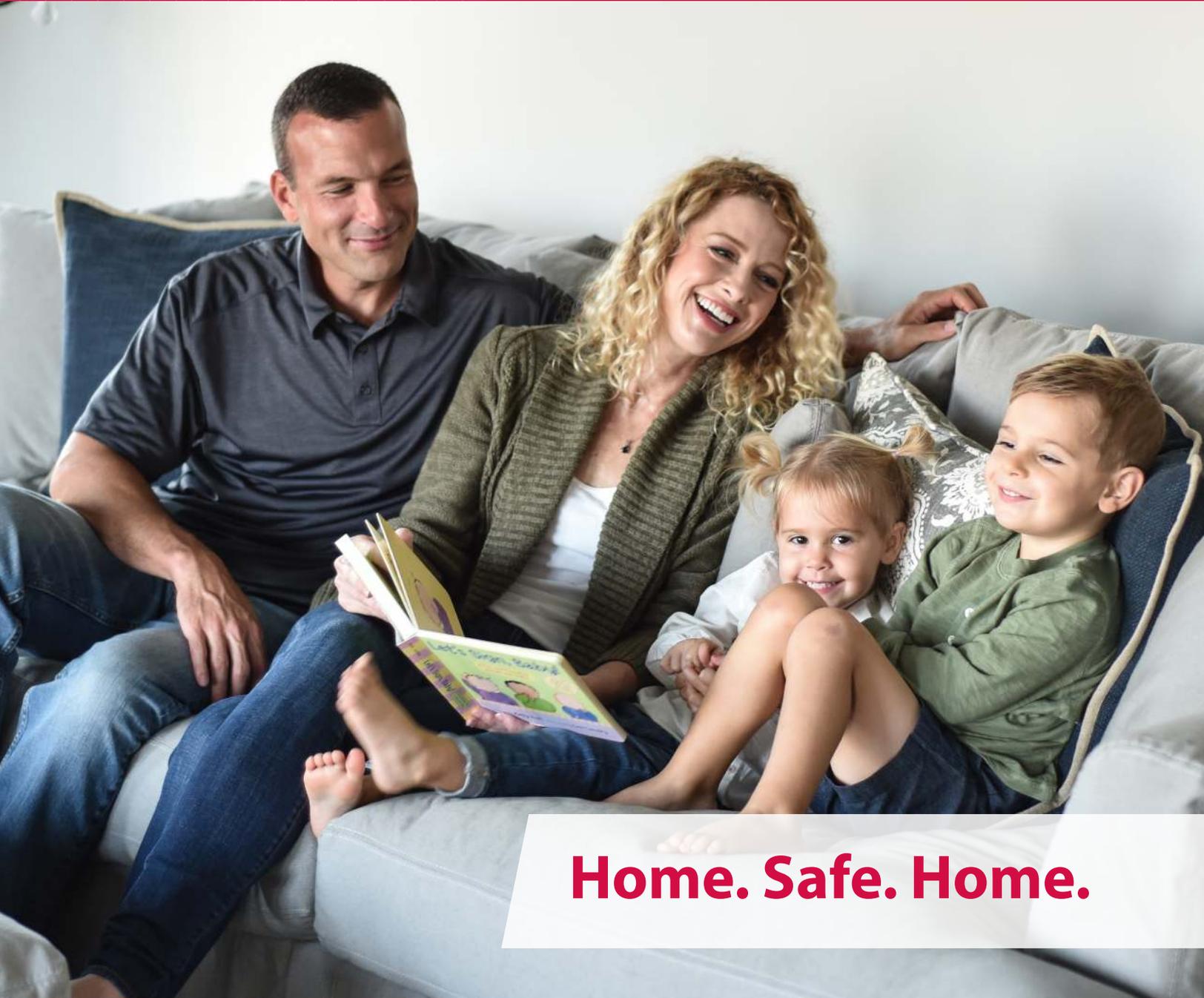




HomeTeam[®]

INSPECTION SERVICE

HOME INSPECTION REPORT



Home. Safe. Home.



WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

Thank you for allowing us the opportunity to serve you.



FAST



TRUSTED



ACCURATE

MARYLAND NOTICE

This written inspection report is provided as per Maryland Business Occupations and Professions Section 16-4A-01 and is in compliance with the Standards of Practice and Code of Ethics approved by the Maryland Commission of Real Estate Appraisers and Home Inspectors. The purpose of the inspection is to identify systems and components of the Property that, in the professional opinion of the inspector, are significantly deficient. The inspection and Report will be limited to visible, readily and safely accessible areas and components of the Property and is limited to the apparent condition of the Property at the time of the inspection.

An inspection is intended to assist in the evaluation of the overall condition of a building. The inspection is based on observation of the visible and apparent condition of the building and its components on the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist, and no warranty or guarantee is expressed or implied. If your home inspector is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to structural integrity of a building or the condition of its components or systems, you may wish to seek the professional opinion of a licensed structural engineer or other professional regarding any possible defects or other observations set forth in this report. Only home inspections performed by Maryland licensed home inspectors will be recognized by the buyer as a valid home inspection under a real estate contract.

GENERAL DESCRIPTION

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street. The term "major visual defect" is defined in the Home Inspection Agreement, the terms of which are incorporated into this report. HomeTeam Inspection Service inspects for evidence of structural failure and safety concerns only. The cosmetic conditions of the paint, wall covering, carpeting, window coverings, etc., are not addressed.

All conditions are reported as they existed at the time of the inspection. Photos may have been included in the report for your convenience and are used only as a visual aid for reference.

Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute major, visually observable defects as defined in the Home Inspection Agreement. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items.

Structures that have been vacant for a period of time may present unique problems when the buyer moves in. Some structural and mechanical components and systems that have not been used on a daily basis may malfunction upon first use.

If this property's major systems to include but not limited to plumbing, electrical, HVAC and inside framing have been recently renovated it is recommended that you obtain all locale jurisdiction building permits or final inspection documents from the owner and/or contractor.

The inspected property consisted of a two story wood-framed structure with stone and vinyl siding. There were no major visual defects on the visible portions of the siding.

NOTE: The exterior wood trim at the second level oval window had minor wood deterioration at the bottom. We recommend consulting a qualified professional for repairs.



NOTE: The exterior wood trim at the front, second level window had minor damage. This damage can be easily repaired during routine maintenance.



The approximate temperature at the time of the inspection was 70 to 75 degrees Fahrenheit, and the weather was clear. The utilities were on at the time of the inspection, and the home was vacant. The buyer and agent were present during the inspection. The home, as reported by the online MLS, was said to be 14 years old.

The home was situated on a lightly sloped lot. The general grade around the home appeared to be adequate to direct rain water away from the foundation.

NOTE: The surface grading around the foundation is inadequate at the left side of the home. We recommend consulting a qualified professional for proper grading to prevent foundation damage and water penetration.



There was a slate paver walkway leading to a slate stoop in the front of the home. There were no major visual defects observed in the walkway or the stoop.

There was an asphalt driveway on the right side of the home, which led to the garage. There were no major visual defects observed in the driveway.

GARAGE

The attached garage was designed for three cars with access provided by two overhead-style doors. The left electric garage door opener was tested and found to be functional. The automatic safety reverse on the garage door was tested and found to be functional. The concrete garage floor was in good condition. There were no major visual defects observed in the garage or the door mechanisms.

NOTE: The right garage door opener was nonfunctional. We recommend consulting a qualified professional to evaluate and repair or replace as need.



NOTE: The garage was full with stored items and/or shelves at the time of inspection; therefore several areas in the garage could not be viewed.





NOTE: The door between the garage and home was a wood door and not self closing. We recommend having the door replaced.



ROOF STRUCTURE

The roof was a gable design covered with asphalt/fiberglass shingles. Observation of the roof surfaces and flashing, and penetrations through the roof was performed from ground level with the aid of binoculars. There appeared to be one layer of shingles on the roof at the time of the inspection. There was light curling and light to moderate surface wear observed on the roof shingles at the time of the inspection. These conditions indicate the roof shingles were near the middle of their useful life. This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use. There were no major visual defects detected on the exterior of the roof.



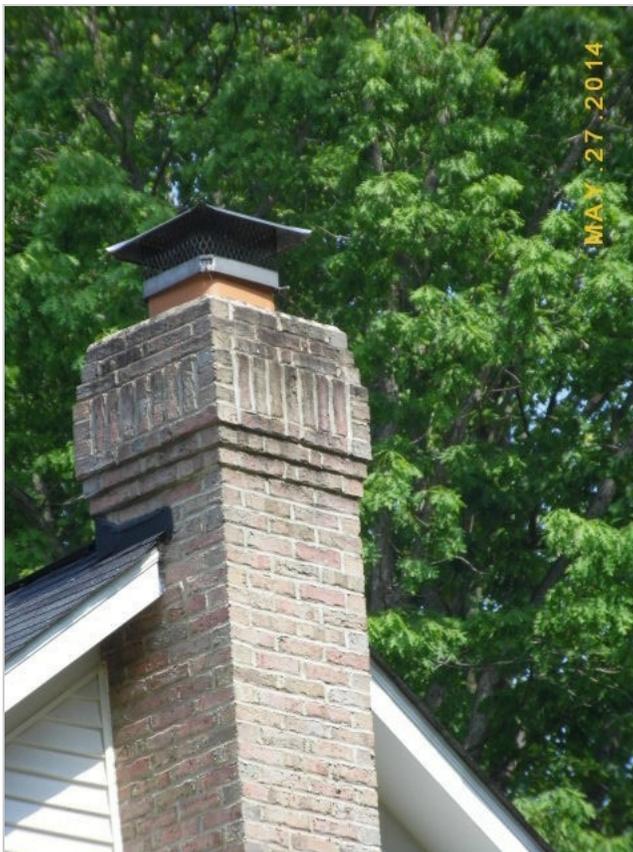
The roof drainage system consisted of aluminum gutters and downspouts, which appeared to be functional at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure. There were no major visual defects observed on the visible portions of the gutters or downspouts.

Water flow from downspout extensions or splash blocks should be carried several feet from the foundation and the downspouts should be securely attached to the property. Downspouts that carry roof water far from the house are the most important part of the foundation drainage system. A properly-functioning drainage system is one of the most important items for extending the life expectancy of a house and its components.

NOTE: The underground downspout was not properly attached. We recommend having the downspout properly attached.



There was one chimney and b-vent. Observation of the chimney exterior was made from the ground, with the aid of binoculars. There were no major visual defects observed on the exterior.



FOUNDATION

The foundation was constructed of concrete. A single inspection cannot determine whether movement of a foundation has ceased. Any cracks should be monitored regularly. There were no major visual defects observed on the visible portions of the foundation.

BASEMENT (LOWER LEVEL)

The basement was unfinished, and contained the following mechanical systems: water heater, furnace, air handler and sump pump.

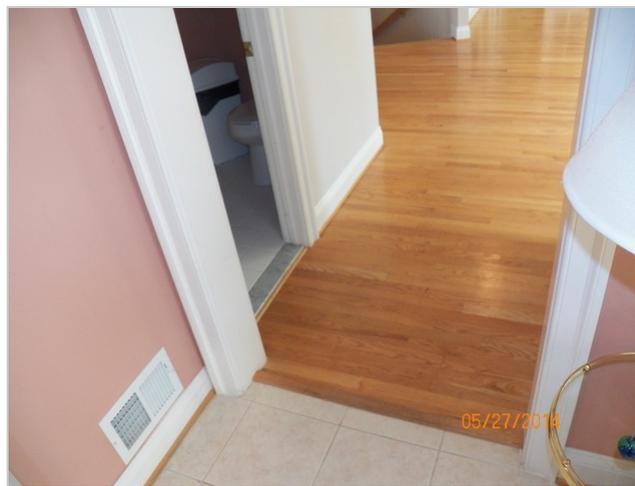


The basement was dry at the time of the inspection. Because the basement is below grade, there exists a vulnerability to moisture penetration after heavy rains. There were no major visual defects observed in the basement.

FLOOR STRUCTURE

The visible floor structure consisted of a particle board subfloor, supported by two-inch by twelve-inch I joists spaced twenty four inches on center. There was a 4x8-inch steel flange center beam and four-inch steel posts or piers for load bearing support. There were no major visual defects observed in the visible portions of the floor structure.

NOTE: The floor had a significant slope at the kitchen entryway by the first level powder room. Therefore, the powder room floor tile has cracked. We recommend consulting a qualified professional to evaluate the cause of the slope, correct the slope and replace the cracked tile.



PLUMBING

The visible water supply lines throughout the home were copper pipe. The water was supplied by a public water supply. The visible waste lines consisted of PVC pipe. The home was connected to a septic tank system. All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. There were no major visual defects observed in the visible portions of the plumbing system.

NOTE: The jack&jill bathroom toilet on the second level was nonfunctional. We recommend consulting a licensed plumber to evaluate and repair or replace the toilet as needed.



NOTE: The septic clean-out cover was damaged. We recommend consulting a licensed plumber for repairs.



The water meter was located at the exterior of the home. The main water shutoff valve for the home was located adjacent to the water service entry point in the basement.



The propane gas tank was located at the rear of the home. Although no actual testing was performed to detect the presence of gas fumes, there was no noticeable odor of gas detected at the time of the inspection.



There was a sump pump located in the basement. The sump pump was functional.

There was a 75 gallon capacity, propane gas water heater located in the basement. The water heater was manufactured by Bradford White, model # MI75S6SX and serial # KJ18830115. Information on the water heater indicated that it was manufactured one year ago. A temperature and pressure relief valve (T&P) was present. Because of the lime build-up typical of T&P valves, we do not test them. An overflow leg was present. It did terminate close to the floor. Your safety depends on the presence of a T & P valve and an overflow leg terminating close to the floor. There was an adequate venting system from the water heater to the exterior of the house. The water heater was functional.



NOTE: There was a gas odor at the water heater. We recommend consulting a licensed plumber to evaluate and correct as needed.



ELECTRIC SERVICE

The underground electric service wire entered the home on the right wall. The electric meter was located on the exterior wall. The service wires entered two Cutler Hammer service panels, located on the basement wall with a 200 amps and 120/240 volt rated capacity. The branch circuits within the panel were copper. These branch circuits and the circuit breaker to which they were attached appeared to be appropriately matched. The visible house wiring consisted primarily of the Romex type and appeared to be in good condition.



A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were inspected and were found to be functional. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters (GFCI), if present, were also tested. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits located in the bathrooms, garage, kitchen and at the exterior. The GFCI receptacles were functional.

NOTE: The master bedroom front wall right outlet was missing a cover plate. For safety reasons, we recommend having a cover plate installed.



NOTE: The garage GFCI outlet would not reset, and therefore two garage outlets and all exterior outlets were nonfunctional. We recommend consulting a licensed electrician to evaluate and correct as needed.





NOTE: One of the two garage lights, the light next to the attic furnace and three of the seven kitchen lights were nonfunctional. We recommend placing all nonfunctional light fixtures in working order.



NOTE: There were excessive electrical connections plugged into one of the basement outlets. This condition could cause and overload the circuit breaker. We recommend consulting an electrician to install more outlets.



The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. There were no major visual defects observed in the electrical system.

SMOKE ALARMS

There were smoke alarms observed in the home. For safety reasons, a functional smoke alarm should be installed on each living level of the home. Smoke alarms should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter.

CARBON MONOXIDE DETECTORS:

There were no carbon monoxide detectors observed in the home. For safety reasons, a functional carbon monoxide detector should be installed on each living level of the home. They should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter.

Buyers are urged to obtain further information from the following source: For more information http://www.propex.com/C_f_env_co1.htm

NOTE: There were no carbon monoxide detectors observed in the home. For safety we recommend having carbon monoxide detectors installed on each living level of the home.

WINDOWS DOORS WALLS AND CEILINGS

A representative number of accessible windows and doors were operated and found to be functional. The primary windows were constructed of wood, double hung style, with double pane glass. All exterior doors were operated and found to be functional. The exterior door locks should be changed or re-keyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted. There were no major visual defects observed in the windows or doors.

NOTE: The master bedroom rear/right window and the dining room front/left window would not stay in the up position. We recommend consulting a qualified professional to evaluate and correct as needed.



The interior wall and ceiling surfaces were finished with drywall. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. There were no major visual defects observed in the interior walls or ceilings.

The stairways in the home were inspected and there were no major visual defects or visual safety concerns observed with the steps, stairways or handrails.

FIRST-LIVING-LEVEL

The first level of the home consisted of a living room, dining room, kitchen, family room, office, sunroom, powder room and laundry room. HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic conditions of the paint, wall covering, carpeting, window coverings, etc., are not addressed. There were no major visual defects observed on the first level.



NOTE: There was mold observed underneath the kitchen sink. We recommend consulting a qualified professional to evaluate and remove the mold growth as needed.

NOTE: Certain types of mold growth may result in adverse health effects. If this is a concern to you, it is recommended to have this area tested to determine the type(s) of mold present. HomeTeam Inspection Service makes no warranty as to the current or future existence of mold in this property and is not liable for the potentially harmful effects thereof.



The visible portions of the cabinets and counter tops were in good condition. The appliances were turned on to check operational function only. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components. The kitchen contained the following appliances:

The General Electric natural gas and electric range with double ovens were inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

The Broan range hood was inspected and did appear to be functional. The visible portions of the venting system were inspected and found to be functional at the time of the inspection. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.

The General Electric refrigerator was inspected and did appear to be functional. The temperature setting and ice maker, if present, are not within the scope of the inspection.

The Kitchen Aid dishwasher was observed through a complete cycle and did appear to be functional when set on the "wash" and "drain" cycle.

The ISE disposal was inspected and did appear to be functional. The efficiency rating is not within the scope of the inspection.

NOTE: There appeared to be a foreign object in the disposal. For safety, we recommend having the object removed.

LAUNDRY AREA

There was a General Electric washer. This appliance was tested through a complete cycle and did appear to be functional. Please note that the washer was run without clothing, and therefore, some defects may appear when run full of clothing, which may not have been evident at the time of the inspection. The cleaning efficiency is not within the scope of this inspection.

There was a General Electric dryer. This appliance was tested through a complete cycle and did appear to be functional. Please note that the dryer was run without clothing, and therefore, some defects may appear when run full of clothing, which may not have been evident at the time of the inspection. The temperature and drying efficiency is not within the scope of this inspection.

SECOND-LEVEL-ROOMS

The second level of the home consisted of four bedrooms and three bathrooms. There were no major visual defects observed on the second level.



GAS FIREPLACE

Propane gas-log fireplaces were located in the family room, living room and master bedroom. The fireplaces were tested and found to be nonfunctional.

NOTE: All three propane gas fireplaces in the living room, basement and master bedroom were nonfunctional and should be placed in working order.



WOOD FIREPLACE

A wood-burning fireplace was located in the family room. The damper did appear to be functional. There was no visual evidence of creosote buildup in the firebox and/or visible portions of the chimney. There were no cracks observed in the firebox or visible portions of the chimney.

For safety reasons, a fireplace and the chimney or pipe to which it is vented should be cleaned and re-inspected as there may be hidden defects, not fully visible at the time of the inspection. The fireplace was not tested for operation or function.

ATTIC STRUCTURE

The attic was accessed through a door in the 2nd level stairway. The attic above the living space was insulated with loose-fill and batted insulation, approximately 10-inches in depth. Ventilation throughout the attic was provided by soffit, ridge, and windows vents. The roof structure consisted of two-inch by six-inch wood trusses spaced 24 inches on center and particle board sheathing. Because of the configuration of the trusses, which limited access, it was not possible to inspect all areas of the attic. There was no moisture visible in the attic space. The absence of visible indications of moisture is not necessarily conclusive evidence that the roof is free from leaks. The only way to be sure a roof does not leak is to inspect the underside of the roof during a heavy rain. There were no major visual defects observed in the attic or roof structure.



HVAC-BRAND-TYPE-AGE

The heating, ventilating and air conditioning systems were inspected by HomeTeam. Annual maintenance of the heating and cooling equipment is essential for safe and efficient performance, which will maximize the system's useful life.

FURNACE:

The basement and first level of the home were heated by a Rheem propane gas forced air furnace, serial # EJ50707F469903736, model # RGRA-10EZAJS, which is 14 years old. The unit was located in the basement of the home. It has an approximate net heating capacity of 100,000 BTUH. The heating system was found to be functional.

NOTE: Without removing the burners to gain complete access, and with the limited viewing area of the heat exchanger, a thorough inspection is not possible.

The condensate line was trapped. HVAC condensate lines must be trapped and not in contact with wet drain inlets to prevent the possible migration of bacteria and mold into the air-handling system.



The second level of the home was heated by a Rheem propane gas forced air furnace, which is 14 years old. The unit was located in the attic of the home. The heating system was found to be functional.

NOTE: Without removing the burners to gain complete access, and with the limited viewing area of the heat exchanger, a thorough inspection is not possible.

The condensate line was trapped. HVAC condensate lines must be trapped and not in contact with wet drain inlets to prevent the possible migration of bacteria and mold into the air-handling system.



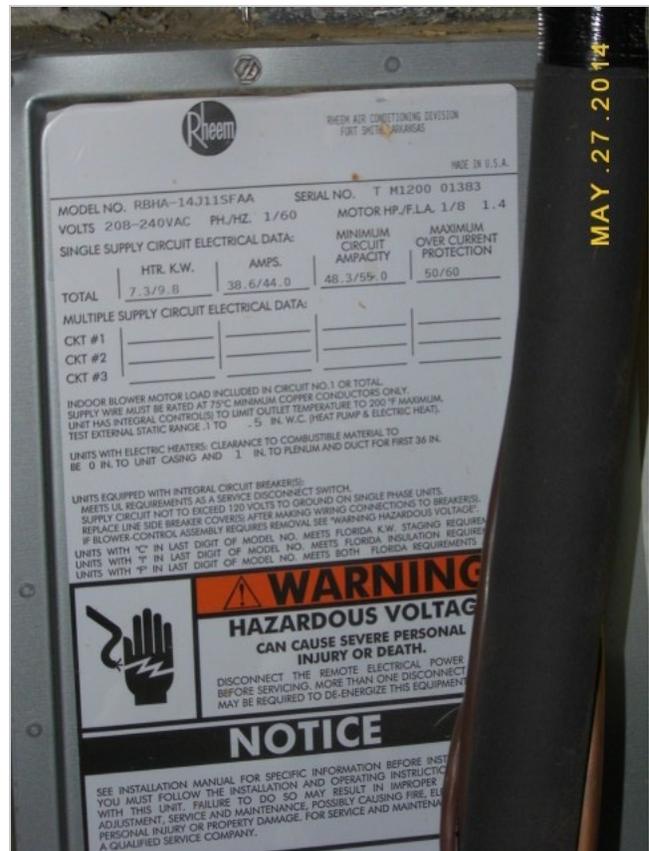
NOTE: The second level furnace cover could not be removed due to the screws not unscrewing. Therefore,

the data plate was not accessible and the unit could not be properly inspected. However, there were signs of rust in the pan and signs of a condensation leak at the top of the unit. We recommend consulting a HVAC technician to evaluate and correct as needed.



AIR HANDLER

The heated and cooled air for the sun room was distributed by a Rheem electric air handler, serial # T M1200 01383, model # RBHA-14J115FAA. The unit was located in the basement of the home. This unit is approximately 14 years old. The unit was found to be non functional.



NOTE: The air handler was found to be nonfunctional. We recommend consulting a HVAC technician to evaluate the unit to determine the extent of repair required.



AIR-CONDITIONER

The electric outdoor air conditioner condensing unit for the basement and first level was a Rheem, model # RAMA-042JAZ and serial # 5461 M1700 06956. The unit was located at the left side of the home. This unit is approximately 14 years old. The cooling system was found to be nonfunctional.



NOTE: The air conditioner was nonfunctional at the time of the inspection. The electric circuit breaker for the

air conditioner would not re-set. We recommend consulting a licensed electrician to evaluate and repair as needed. After the circuit breaker has been corrected we recommend having the air conditioner checked for function.



The electric outdoor air conditioner condensing unit for the second level was a Rheem, model # RAKA-060JAZ and serial #5721 M1800 13203. The unit was located at the left side of the home. This unit is approximately 14 years old. The cooling system was found to be functional.



HEAT PUMP

The electric outdoor heat pump condensing unit heating and cooling the sunroom was a Rheem, model # RPKA-025JAZ and serial # 6388 M1900 21514. The unit was located at the left side of the home. This unit is approximately 14 years old. The heating and cooling system was found to be nonfunctional.



NOTE: The heat pump was nonfunctional at the time of the inspection. We recommend consulting a HVAC technician to evaluate and repair or replace as needed.



DUCTWORK

Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers.

FILTERS

The disposable filters should be replaced on a regular basis to maintain the efficiency of the systems. The efficiency rating is not within the scope of this inspection.

THERMOSTATS

The controls for the heating and air conditioning systems were 24 volt thermostats located on the master bedroom, family room and sunroom walls of the home. The thermostats were manufactured by Honeywell and Rheem.



File Number: **SAMPLE REPORT**

Address of Inspection: **1234 Fifth Ave**

WDI INSPECTION

WOOD DESTROYING INSECTS (WDI) INSPECTION: Hardy & Hayes Termite Company will perform the wood destroying organism inspection. Please refer to the WDI report for further information. The report will be emailed separately by Hardy & Hayes.

RADON TEST

RADON INSPECTION: Radon gas is a colorless and odorless gas released into the ground as a result of uranium decay. This invisible gas can be hazardous to your health in an enclosed structure. The radon test you requested is being performed by HomeTeam Inspection Service. The radon inspection report will follow.

UPON TAKING OWNERSHIP

After taking possession of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements:

- Investigate the main shutoff valves for plumbing, heating and electrical systems
- Change the locks on all exterior doors
- Check that all windows and doors are secure. Improve window hardware as necessary. Consider a home security system
- Install rain caps and vermin screens on all chimney flues as necessary Install smoke detectors on each living level of the home. Ensure that a smoke detector is installed outside of all bedrooms. Replace batteries on any existing smoke detectors and test them for functionality
- Create a plan of action in case of fire in the home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding safety issues and what to do in the event of a fire
- Examine the interior of the home for trip hazards. Loose or torn carpeting or flooring should be repaired.
- Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling
- Examine driveways and walkways for trip hazards
- Contact your HOA manager to outline what the maintenance responsibilities of the Association are and what you will be responsible for maintaining

MAINTENANCE

Regular Maintenance:

- Check that all fire extinguishers are fully charged
- Examine heating/cooling air filters and replace/clean and or service as necessary
- Inspect condition of shower/tub enclosures, caulk as necessary to prevent moisture penetration
- Repair or replace leaking faucets or shower heads
- Inspect and clean humidifiers and electronic air cleaners

Bi-Annual Maintenance:

- Check attic ventilation for blockage; check for condensation, leakage or vermin activity
- Examine the basement or crawl space for evidence of moisture penetration
- Test all ground fault circuit interrupter (GFCI) devices
- Clean, inspect and/or service all appliances as per the manufacturers recommendations
- Shut off all outdoor valves/hose bibs in the fall; insulate if necessary
- Replace or clean exhaust hood filters
- Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood window frames. Paint and repair window sills and frames as necessary
- Check/replace smoke alarm and CO detector batteries

Annual Maintenance:

- Have the HVAC system(s) cleaned and serviced
- Have chimneys/chases inspected and cleaned; ensure that rain caps and vermin screens are secured. If a gas fireplace, have the system serviced by a professional technician.
- If you are in an area prone to vermin or pest infestation, have the home inspected by a licensed specialist



SUMMARY:

The purpose of this summary is to provide a "quick view" of the results of the home inspection. Please be sure to read the full body of the inspection report, as it contains much more detail about your new home. Any recommendations for additional evaluation must be performed prior to the conclusion of the inspection contingency period.

DO NOT RELY UPON THIS SUMMARY OF THE INSPECTION REPORT. THE SUMMARY IS NOT INTENDED TO BE COMPREHENSIVE. YOU MUST READ THE ENTIRE INSPECTION REPORT, WHICH CONTAINS MORE DETAILED DESCRIPTIONS OF THE PROPERTY AND ITS SYSTEMS AND COMPONENTS. SECTION HEADINGS IN THE REPORT ARE FOR REFERENCE PURPOSES ONLY AND DO NOT AFFECT THE MEANING OR INTERPRETATION OF THE REPORT. THE ORDER IN WHICH THE SYSTEMS AND COMPONENTS OF THE PROPERTY ARE PRESENTED IS NOT INTENDED TO REFLECT THE RELATIVE IMPORTANCE OF ANY SYSTEM OR COMPONENT OF THE PROPERTY. YOU MUST DETERMINE THE IMPORTANCE OF EACH SYSTEM AND COMPONENT OF THE PROPERTY YOURSELF.

The following is a summary of the inspection performed at 1234 Fifth Ave, HomeTown, MD 67890:

General Concerns

- The floor had a significant slope at the kitchen entryway by the first level powder room. Therefore, the powder room floor tile has cracked. We recommend consulting a qualified professional to evaluate the cause of the slope, correct the slope and replace the cracked tile.

Major Defects

- The heat pump was nonfunctional at the time of the inspection. We recommend consulting a HVAC technician to evaluate and repair or replace as needed.
- The air conditioner for the basement and first level was nonfunctional at the time of the inspection. The electric circuit breaker for the air conditioner would not re-set. We recommend consulting a licensed electrician to evaluate and repair as needed. After the circuit breaker has been corrected we recommend having the air conditioner checked for function.
- The air handler was found to be nonfunctional. We recommend consulting a HVAC technician to evaluate the unit to determine the extent of repair required.

Minor Defects

- The right garage door opener was nonfunctional. We recommend consulting a qualified professional to evaluate and repair or replace as need.
- The jack&jill bathroom toilet on the second level was nonfunctional. We recommend consulting a licensed plumber to evaluate and repair or replace the toilet as needed.
- The exterior wood trim at the second level oval window had minor wood deterioration at the bottom. We recommend consulting a qualified professional for repairs.
- The master bedroom rear/right window and the dining room front/left window would not stay in the up position. We recommend consulting a qualified professional to evaluate and correct as needed.

- One of the two garage lights, the light next to the attic furnace and three of the seven kitchen lights were nonfunctional. We recommend placing all nonfunctional light fixtures in working order.
- All three propane gas fireplaces in the living room, basement and master bedroom were nonfunctional and should be placed in working order.
- The second level furnace cover could not be removed due to the screws not unscrewing. Therefore, the data plate was not accessible and the unit could not be properly inspected. However, there were signs of rust in the pan and signs of a condensation leak at the top of the unit. We recommend consulting a HVAC technician to evaluate and correct as needed.
- The septic clean out cover was damaged. We recommend consulting a licensed plumber for repairs.
- The air handler was found to be nonfunctional. We recommend consulting a HVAC technician to evaluate the unit to determine the extent of repair required.
- The underground downspout was not properly attached. We recommend having the downspout properly attached.
- The surface grading around the foundation is inadequate at the left side of the home. We recommend consulting a qualified professional for proper grading to prevent foundation damage and water penetration.

Safety Defects

- The door between the garage and home was a wood door and not self closing. We recommend having the door replaced.
- There was mold observed underneath the kitchen sink. We recommend consulting a qualified professional to evaluate and remove the mold growth as needed.
- There appeared to be a foreign object in the disposal. We recommend having the object removed.
- The master bedroom front wall right outlet was missing a cover plate. We recommend having a cover plate installed.
- The garage GFCI outlet would not reset, and therefore two garage outlets and all exterior outlets were nonfunctional. We recommend consulting a licensed electrician to evaluate and correct as needed.
- There was a gas odor at the water heater. We recommend consulting a licensed plumber to evaluate and correct as needed.
- There were no carbon monoxide detectors observed in the home. We recommend having carbon monoxide detectors installed on each living level of the home.
- There were excessive electrical connections plugged into one of the basement outlets. This condition could cause and overload the circuit breaker. We recommend consulting an electrician to install more outlets.

REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

Intermittent or concealed problems: Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No clues: These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We always miss some minor things: Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$1000 problems. These are the things that affect people's decisions to purchase.

Contractor's advice: A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

"Last man in" theory: While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most recent advice is best: There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

Why didn't we see it?: Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem."

There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

Not insurance: In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk.

File Number: **SAMPLE REPORT**

Address of Inspection: **1234 Fifth Ave**

For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

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