



**HomeTeam**<sup>®</sup>  
INSPECTION SERVICE

February 19, 2013

**123 Sample Rd.  
Leland, NC 28451  
Inspection #: 123456**



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800 Elk Trail Dr Wilmington, NC 28409  
(910) 790-9200 Fax: (910) 790-9284  
E-mail: ht235@hometeaminspection.com

Dear Fred Buyer,

On 2/19/2013 HomeTeam Inspection Service made a visual inspection of the property referenced above. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Home Inspection Agreement. Although maintenance items may have been addressed verbally at the time of the inspection, they may not be included in the enclosed report.

I trust the enclosed information is helpful and I hope you enjoy every aspect of your new home. If I can be of any assistance, please feel free to call me at the above telephone number.

Sincerely,

**HomeTeam Inspection Service**

**Philip Egan(1)  
NCHIL #2593**

File Number: **123456**

Address of Inspection: **123 Sample Rd.**

This Inspection was conducted in accordance with the standards of practice of  
the North Carolina Home Inspector Licensure Board  
The HomeTeam Inspection Service

**REPORT DESCRIPTION:**

The body of the report consists of a narrative description of the inspected home and included components and systems. The summary of defects will note any system or component of the home that:

(1) does not function as intended or adversely affects the habitability of the dwelling;

(2) appears to warrant further investigation by a specialist or requires subsequent observation.

**NOTE:** Pictures may be included in the report as a visual aid. Pictures will be included at the discretion of the inspector and only when they assist in the identification or location of a defect. Pictures may be used to illustrate an example of a defect, but are not intended to identify the extent of the damage.

## GENERAL DESCRIPTION:

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street. The term "major visual defect" is defined as a defect that is capable of detection by reasonable visual examination only, and that requires an immediate expenditure in excess of \$1000 to prevent further deterioration of the property or to repair/replace the defective item. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic conditions of the paint, wall covering, carpeting, window coverings, etc., are not addressed. All conditions are reported as they existed at the time of the inspection.

Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute major, visually observable defects as defined above. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items.

The approximate temperature at the time of the inspection was 50 to 55 degrees Fahrenheit, and the weather was cloudy with showers. The utilities were on at the time of the inspection. The buyer was present during the inspection. The home was vacant at the time of the inspection.

The inspected property consisted of a one story wood-framed structure. The inspected structure had brick veneer siding. The age of the home, as reported by the MLS sheet was said to be thirty to thirty five years old. NOTE: There were a few minor cracks in the brick veneer siding. There was minimal separation and no planer deflection of the cracks. Recommend periodic observation of the brick veneer to determine if there are any significant changes.

## DRIVEWAY:

There was concrete driveway in the front of the home which led to the attached carport.

- ***The following defects were noted in this section:***
- There was severe settlement of portions of the concrete driveway over the drainage ditch and culvert near the street. The retaining wall on one side of the driveway was cracked and has begun to bow out. There was erosion of the soil under both sides of the driveway. Further erosion can lead to failure of the driveway and retaining walls. The settled portion of the driveway can also lead to damage to low profile cars.



- Recommend a qualified contractor be consulted for repairs needed.

**PATIO:** There was a covered and screened in concrete patio located at the rear of the home. NOTE: The roof over the patio was attached only to the fascia board of the roof boxing. This is not a structural connection for the roof.

However the roof over the patio has been in place for several years and has stood the test of time. NOTE: There were a few stains in the roof sheathing of the patio. This is an indication that there has been a leak at one time, possibly due to wind driven rain. The stains were tested with a moisture meter and found to be dry. It was raining at the time of the inspection.



### ROOF STRUCTURE:

The roof was a gable and valley design covered with metal roofing. Observation of the roof surfaces and flashing was performed from ground level with the aid of binoculars. The age of the roof covering was not reported. The roofing was in good condition.

### GUTTERS:

The roof drainage system consisted of aluminum gutters and downspouts which appeared to be functional at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure.

- ***The following defects were noted in this section:***
- The gutters at the rear of the house sagged at the end nearest to the covered patio. There was standing water in the gutter due to poor drainage.
- Recommend a qualified roofing contractor or company for repairs needed.

### FOUNDATION:

The foundation was constructed of concrete block piers with a brick curtain wall. A single inspection cannot determine whether movement of a foundation has ceased. Any cracks should be monitored regularly.

### CRAWL SPACE:

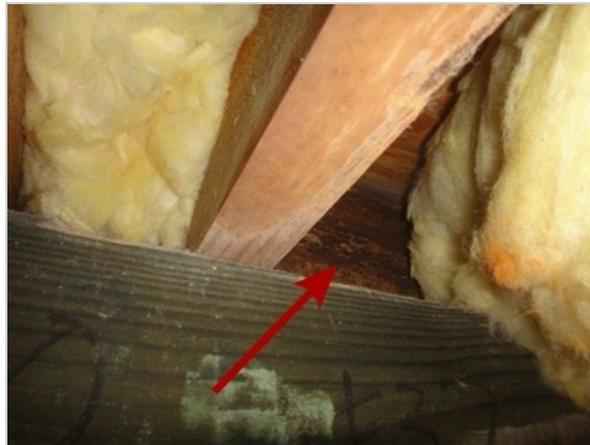
The crawl space was accessible at the time of the inspection. The crawlspace was accessed through an entry panel and was dry. A crawl space should be adequately vented at all times. There was a partial moisture barrier in the crawlspace.

- NOTE: The plastic moisture barrier on the ground in the crawlspace did not cover the entire ground. The soil in the crawlspace was damp. There was staining on the foundation piers and minor fungal growth on the wood components of the floor structure indicating periodic or seasonal moisture in the crawlspace. Continuation of the moisture barrier to cover the entire ground surface can help to reduce ground source moisture in the crawlspace.

## FLOOR STRUCTURE:

The floor structure was inspected from below. The visible floor structure consisted of a plywood sub floor, supported by two-inch by eight-inch wood joists spaced sixteen inches on center. There was insulation in place between the joists. There were 6 x 6-inch wood girders and 8 x 16-inch concrete block piers for load bearing support.

NOTE: There was moderate fungal growth on the band joist behind the front stoop. Sealing any gaps in the dirt filled concrete and brick stoop can help to reduce moisture. The area was tested with a moisture meter and found to be dry at the time of the inspection.



## PLUMBING:

The visible water supply lines throughout the home were copper pipe. The water was supplied by a public water supply. The visible waste lines consisted of PVC and ABS plastic. The home was reported by the buyer to be connected to a public sewer system. All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. Water pressure was tested at an outside hose bib and found to be 60 to 65 pounds per square inch.

- ***The following defects were noted in this section:***
- The commode in the hallway bathroom was loose at the point where it attaches to the floor. This can lead to a leak due to the failure of the wax seal below.
- There were two leaks in the waste and drain plumbing under the hallway bathrooms. The leaks were observed in the crawlspace.



- Recommend a licensed plumber be consulted for evaluation of the plumbing system and for repairs needed.

**WATER METER:**

The water meter was located in the front yard. The main water shutoff valve for the home was located adjacent to the water service entry point at the meter.

**WATER HEATER:**

There was 40 gallon capacity, electric water heater located in the laundry room. The water heater was manufactured by Whirlpool, model number E2F40RD045V and serial number 0903T427619. Information on the water heater indicated that it was manufactured three years ago. A temperature and pressure relief valve (T & P) was present. Because of the lime build-up typical of T & P valves, we do not test them. An overflow leg was not present. It did not terminate close to the floor. Your safety depends on the presence of a T & P valve and an overflow leg terminating close to the floor. The water heater was functional.

- *The following defects were noted in this section:*
- There was no drip leg on the temperature and pressure relief valve. A drip leg should be installed to prevent injury in the event of the valve tripping.



## ELECTRIC SERVICE:

The overhead electric service wire entered the home on the exterior wall. The electric meter was located on the exterior wall. The service wire entered a Square D service panel, located on the family room with a 200 amp and 120/240 volt rated capacity. The entry cable was aluminum wire. The branch circuits within the panel were copper. These branch circuits and the circuit breaker to which they were attached appeared to be appropriately matched. The visible house wiring consisted primarily of the Romex type and appeared to be in good condition.

A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were inspected and were found to be functional. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters (GFCI), if present, were also tested. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits located in the kitchen, bathroom(s), and exterior.

The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection.

- ***The following defects were noted in this section:***
- There were several (more than 5) open splices, junctions, and improper wire terminations throughout the house and shed. They were located in the crawlspace, attic, above the drop ceiling in the family room/converted garage, and under the shed at the electrical service entry point. Any exposed live wires are a safety and potential fire hazard. NOTE: There was evidence of periodic standing water under the house. One of the open splices and connected Romex cable was lying on the ground at the right side of the crawlspace.





- The GFCI receptacle in the hallway bathroom was inoperable when tested. It would not trip when tested.
- The vent fan in the hallway bathroom was inoperable when tested. A operable vent fan is required for moisture control.
- The hot and neutral leads were reversed at several receptacles in the family room/converted garage. This is a safety hazard.
- Recommend a licensed electrical contractor be consulted to determine the cause and for repairs needed.

#### **SMOKE ALARMS:**

There was one smoke alarm found in the house. It was inspected and was found to be functional. For safety reasons, the smoke alarm(s) should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter.

#### **WINDOWS, DOORS, WALLS, AND CEILINGS:**

A representative number of accessible windows and doors were operated and found to be functional. The primary windows were constructed of vinyl, double hung style, with insulated glass. All exterior doors were operated and found to be functional. The exterior door locks should be changed or re-keyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted.

- ***The following defects were noted in this section:***
- There was moisture observed within the panes of glass in one window sash in the left front bedroom. This is an indication that the seals between the panes of glass have failed. This reduces the visibility and the insulation value of the windows.
- The door to the master bathroom binds when closed. The door does not operate properly.
- Recommend a qualified window company be consulted for repairs needed. NOTE: The windows are recent replacements. Recommend consulting the sellers to determine if the windows have a warranty that still applies.

The interior wall and ceiling surfaces were finished with drywall and panelling. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted.

#### **DESCRIPTION:**

The home consisted of three bedrooms, two bathrooms, a kitchen, laundry room, dining room, living room, and a family room that has been converted from a garage or carport. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic conditions of the paint, wall covering, carpeting, window coverings, etc., are not addressed.

The visible portions of the cabinets and counter tops were in serviceable condition.

- ***The following defects were noted in this section:***

- The face frame on a cabinet to the left of the range was loose. This can lead to damage to the cabinet box.
- The glue joint on a cabinet door in the kitchen was loose. This can lead to damage to the door.



- Recommend a qualified contractor be consulted for repairs needed.

#### **KITCHEN/HOUSEHOLD APPLIANCES:**

The appliances were turned on to check operational function only. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components.

The Whirlpool electric range was inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

The Broan range hood was inspected and did appear to be functional. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.

#### **ATTIC STRUCTURE:**

The attic was accessed through a pull down stairway in the bedroom. The attic above the living space was insulated with loose-fill insulation. Ventilation throughout the attic was provided by gable, soffit, and thermostatically controlled powered vents. The roof structure consisted of two-inch by four-inch wood trusses spaced 24 inches on center and plywood sheathing.

#### **HEAT PUMP:**

The home was heated and cooled by a Broan electric heat pump system. It was a split system. The condensing unit serial # FTD110503909 and model # FT4BD-036K was located at the rear of the home. The air handling unit was located in the bedroom closet. Information on the unit data plates indicates that the system is approximately one to two years old.

#### **DUCTWORK:**

Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers.

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There will be normal temperature variations from room to room due to orientation of the house, distance from the unit(s), and other factors.

**FURNACE FILTER:**

The disposable filter should be replaced on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection.

**THERMOSTAT:**

The control for the heating and air conditioning system was a thermostat located on the hallway wall of the home. The thermostat was manufactured by honeywell and was found to be in working order.

**HVAC OPERATION:**

Due to the outdoor temperature the system could only be safely operated in the auxiliary heat and the heating modes. The system was tested by measuring the difference in temperature between the supply registers and the return register(s). It was inspected and run and did appear to be functional.

## SUMMARY of DEFECTS:

This summary is not the entire report. The full report may include additional information of interest or concern to the client. It is strongly recommended that the client promptly read the complete report. For information regarding the negotiability of any item in this report under a real estate purchase contract, contact your real estate agent or an attorney.

### EXTERIOR

- There was severe settlement of portions of the concrete driveway over the drainage ditch and culvert near the street. The retaining wall on one side of the driveway was cracked and has begun to bow out. There was erosion of the soil under both sides of the driveway. Further erosion can lead to failure of the driveway and retaining walls. The settled portion of the driveway can also lead to damage to low profile cars.
- Recommend a qualified contractor be consulted for repairs needed.

### GUTTERS

- The gutters at the rear of the house sagged at the end nearest to the covered patio. There was standing water in the gutter due to poor drainage.
- Recommend a qualified roofing contractor or company for repairs needed.

### PLUMBING

- The commode in the hallway bathroom was loose at the point where it attaches to the floor. This can lead to a leak due to the failure of the wax seal below.
- There were two leaks in the waste and drain plumbing under the hallway bathrooms. The leaks were observed in the crawlspace.
- There was no drip leg on the temperature and pressure relief valve. A drip leg should be installed to prevent injury in the event of the valve tripping.
- Recommend a licensed plumber be consulted for evaluation of the plumbing system and for repairs needed.

### ELECTRICAL

- There were several (more than 5) open splices, junctions, and improper wire terminations throughout the house and shed. They were located in the crawlspace, attic, above the drop ceiling in the family room/converted garage, and under the shed at the electrical service entry point. Any exposed live wires are a safety and potential fire hazard. NOTE: There was evidence of periodic standing water under the house. One of the open splices and connected Romex cable was lying on the ground at the right side of the crawlspace.
- The GFCI receptacle in the hallway bathroom was inoperable when tested. It would not trip when tested.
- The vent fan in the hallway bathroom was inoperable when tested. A operable vent fan is required for moisture control.
- The hot and neutral leads were reversed at several receptacles in the family room/converted garage. This is a safety hazard.
- Recommend a licensed electrical contractor be consulted to determine the cause and for repairs needed.

### INTERIOR

- The face frame on a cabinet to the left of the range was loose. This can lead to damage to the cabinet box.
- The glue joint on a cabinet door in the kitchen was loose. This can lead to damage to the door.
- Recommend a qualified contractor be consulted for repairs needed.

### WINDOWS AND DOORS

- There was moisture observed within the panes of glass in one window sash in the left front bedroom. This is an indication that the seals between the panes of glass have failed. This reduces the visibility and the insulation value of the windows.
- The door to the master bathroom binds when closed. The door does not operate properly.

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